



Amy Gowan, Director

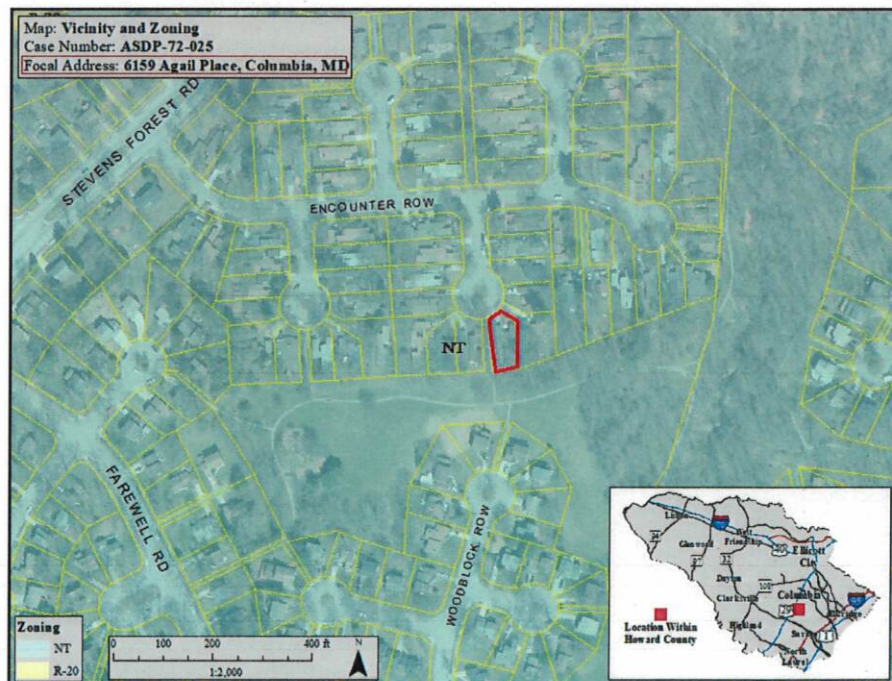
FAX 410-313-3467

TECHNICAL STAFF REPORT

6159 Agail Place, Deck Modification

Planning Board Meeting of August 6, 2020

- Case No./Petitioner:** ASDP-72-025, Christopher Huza
- Project Name:** ASDP-72-025, Huza Deck, 6159 Agail Place, Village of Oakland Mills, Section 5, Area 6, Lot 53.
- DPZ Planner:** Kathryn Bolton, Planning Specialist 1
- Request:** The request is for the approval to amend the Site Development Plan (ASDP) to allow an existing single-family dwelling to encroach into the 6' side and 7.5' rear building restriction line to 5.9' and 3.6', respectively, and for the enclosure of the existing rear deck. Also, to retroactively approve the existing lot coverage of 40%, instead of 30%.
- Location:** The subject property is located at southern end of Agail Place at the terminus of the cul-de-sac. The property contains approximately 5,684 square feet of land and is identified as Lot 53 in the Village of Oakland Mills, Section 5, Area 6 located on Tax Map No. 36, Grid 15, Parcel 341 in the 2nd Election District of Howard County, Maryland.



DPZ Recommendation:

The Department of Planning and Zoning recommends **approval** of this amendment of the Site Development, SDP-72-025, subject to compliance with any conditions imposed by the Planning Board.

Vicinal Properties:

To the North:

Agail Place is located immediately to the north of the site. The property sits at the end of the cul-de-sac, facing the street. Additional single-family dwellings are located along the road. The enclosure of the existing deck will not be visible from the cul-de-sac. Allowance of the encroachment to the side and rear yard setback and the increase in lot coverage will make no changes to the existing site. This request does not increase the current setback or lot coverage of the property.

To the East:

Adjoining to the east of the site is a private residence. The connecting property is Lot 52, Parcel 341, TM 36, Grid 15. The property address is 6155 Agail Place, Columbia, MD 21045. The proposed enclosure of the deck should not be visible due to the existing deck being on the southwest side of the dwelling.

To the South:

Immediate to the south of the site is Open Space Lot 249, Owned by the Columbia Association. There is a community walking path that passes behind the property. The enclosure of the deck may be visible from the pathway, however there is an adequate screening buffer of a mature wooded area to obstruct the view.

To the West:

Directly to the west of the property is a 20' wide strip of Open Space Lot 249, which provides access to the walking paths that interconnect through the Village of Oakland Mills neighborhoods. Adjoining the 20' strip is a private residence, Lot 54, Parcel 341, TM 36, Grid 15. The property address is 6160 Agail Place, Columbia, MD 21045. The proposed enclosure of the deck will be visible from this direction to both the pathway and the private dwelling, as they are immediately adjoining the west of the subject property.

General Comments:

- A. **Regulatory Compliance:** This project is subject to compliance with Section 125.0.G.4 of the Zoning Regulations (effective October 6, 2013), the development criteria listed in the Final Development Plan 97, the amended Fifth Edition of the Howard County Subdivision and Land Development Regulations (the October 7, 2007 Edition), the Howard County Design Manual, and the Village of Oakland Mills Architectural Guidelines.

The development criteria regarding the setback per FDP-97 states that no structure shall be located within 7.5' of any property line, except where shown on a Site Development Plan approved by the Howard County Planning Board. However, SDP-72-025 shows the setback of the side building restriction on the east side of the property to be approved as 6 feet. The FDP states that the lot coverage allowance for lots devoted to single family dwellings shall not be more than 30%.

B. **DPZ Plan History:**

- **FDP-97** – Final Development Plan and Criteria for the subject property was recorded April 26, 1971. The subject property is Lot 53 of the Village of Oakland Mills, Section 5, Area 6 and zoned New Town (NT). The FDP was recorded as Plat Book 20, Pages 48-52 in the Land Records of Howard County, MD.
- **SDP-72-052** – Site Development Plan that the subject property was previously developed under, in which the existing single-family dwelling was established per the development criteria set forth in the FDP.

C. **Proposed Development Plan/Site Improvements:** The ASDP proposes to enclose the existing rear deck to expand the internal area of the single family dwelling. The proposed design has been reviewed and approved by the Oakland Mills Community Association on January 28, 2020. The ASDP is required due to the existing encroachment into the 6' side and 7.5' rear property line setback to 5.9' and 3.6', respectively, and to increase the lot covered by 10% to allow 40% lot coverage onsite. The enclosure of the existing deck will not increase the dwelling's encroachment into Building Restriction Lines or the percentage of lot coverage. The petitioner is requesting relief from the Planning Board for approval of these amendments to the Site Development Plan per the Final Development Plan Criteria.

D. **Site Area and Coverage Information Chart:**

Area Per Lot Requirements:

Lot Area	5,684 Square Feet
Existing Single-Family Dwelling	1,722 Square Feet (30% of Lot Coverage)
Existing Detached Garage	284 Square Feet (5% of Lot Coverage)
Existing Front Deck	174 Square Feet (3% of Lot Coverage)
Existing Rear Deck	124 Square Feet (2% of Lot Coverage)
Existing Lot Coverage	40% (2,304 Square Feet)
Proposed Lot Coverage	40% (2,304 Square Feet)

E. **Existing Site Conditions:**

- **Access, Structures, and Parking Area:** Currently the property contains the existing single-family dwelling, detached garage, and front and rear decks. Access is provided to the lot by private drive way extending from Agail Place.
- **Environmental Characteristics:**
 - i. Forest Cover: There is no forest onsite.
 - ii. Topography: The site is mostly flat lawn with landscaping surrounding the house.
 - iii. Wetlands, Streams, and 100 Year Floodplain: There are no wetlands, streams, or floodplain located on the subject property.

F. **Final Development Plan Analysis:** This Amended Site Development Plan has been evaluated for compliance with FDP-97. Where the Final Development Plan is silent, compliance with the Subdivision and Land Development Regulations, the Zoning Regulations, and other applicable regulations are required. See attachments for the proposed plan of the rear deck enclosure.

Below is a summary of the major FDP criteria used in this evaluation:

1. **Permitted Land Uses:** There are no provisions prohibiting the enclosure of the deck, provided that the project is in accordance with the established FDP criteria and approved by the Howard County Planning Board.
2. **Stormwater Management:** Stormwater Management for this site was previously addressed and completed. The proposed enclosure of the deck will not have any impacts to the approved Stormwater Management on this lot.
3. **Forest Conservation:** The property is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation because the property is zoned NT which had preliminary development plan approval and was 50% or more developed prior to December 31, 1992 per Section 16.1202.(b)(1)(ii).
4. **Environmental Concerns:** There are no proposed alterations beyond those existing onsite. No wetlands, wetland buffers, streams, steep slopes, Forest Conservation Easements, or 100-year floodplain exist onsite.
5. **Setback Requirements:** This project does not meet the applicable setbacks as required by the Site Development Plan and FDP-97. SDP-72-052 allows for a 6' side building restriction line for this proposed lot. Per Criteria 6 of the FDP, all structures are to be no closer than 7.5' to the property lines. The existing single-family dwelling currently encroaches into side building restriction line by 0.1' and the

rear building restriction line by 3.9'. However, structures may be constructed within the setback areas if approved by the Howard County Planning Board.

6. **Height Requirement:** In accordance with FDP-97, no structure shall be constructed within the FDP area that exceeds 34' in height from the highest ground elevation. The existing building at its highest point is 14.6' and the enclosure of the deck will not increase the height of the structure. The existing dwelling currently meets the height requirements of the FDP criteria, and will continue to meet that criteria with the proposed enclosure of the rear deck.
7. **Coverage Requirements:** Per FDP-97, building coverage cannot exceed 30% of any parcel devoted to single family residential use. The existing lot coverage currently exceed this requirement with 40% of the lot covered by structures. However, the proposed amendment to the Site Development Plan does not increase the percentage of building coverage on the property.

Evaluation of Requested FDP Criteria Adjustment:

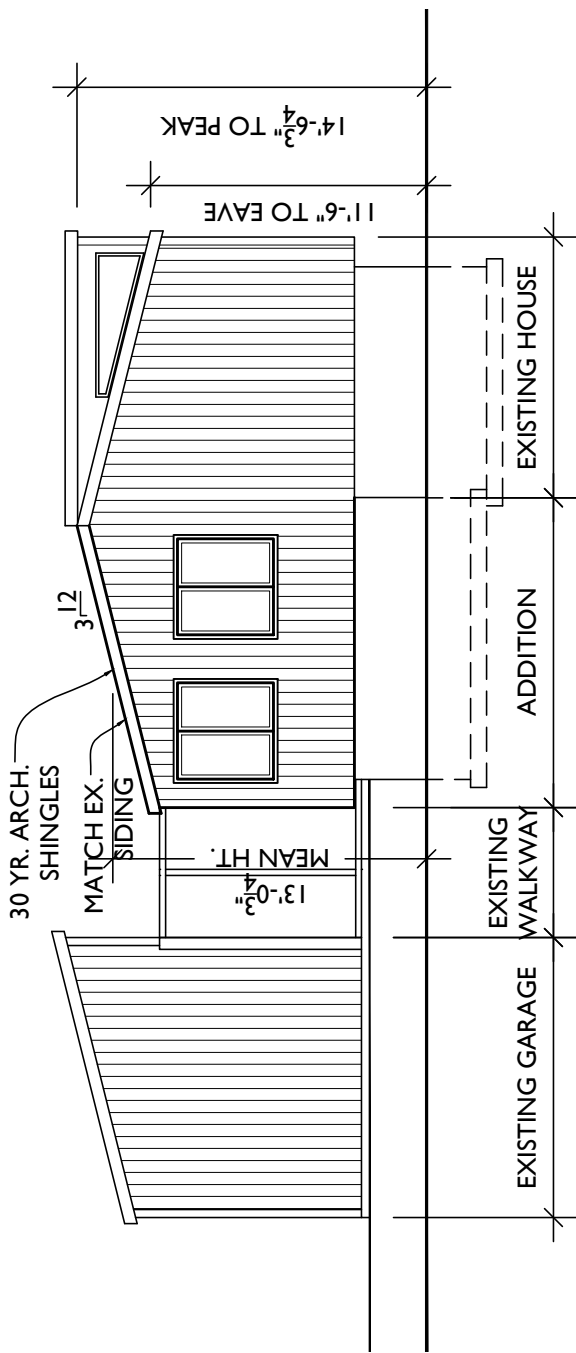
The requested adjustment was reviewed according to the criteria set forth in Section 125.0.G.4.d(1) and Section 125.0.G.4.d(2) of the Howard County Zoning Regulations.

1. **Not Detrimental to the Public Interest:** The proposed adjustment will not alter the character of the neighborhood or the area in which the property is located, it will not impair the appropriate use or development of adjacent property, and it will not be detrimental to the public welfare. The enclosure of the deck does not extend further into the building restriction lines nor does it increase the percentage of lot coverage. The adjustment has been reviewed and approved by the Oakland Mills Community Association. The proposed enclosure of the rear deck is in accordance with the guidelines set forth by the Village of Oakland Mills. The materials will be in conformance with existing architecture so as not to alter the neighborhood characteristics and will be compatible with the surrounding lots.
2. **Extraordinary Hardship or Practical Difficulties:** Practical difficulties arise when complying with the development criteria due to the existing conditions of the structures on this lot. Due to its placement, the single-family dwelling currently encroaches into the side and rear building restriction lines. Also, the lot coverage, due to existing structures onsite, currently is 10% more than allowed by the FDP criteria. The house was purchased by the current property owner with these existing conditions. The proposed improvement to the property does not increase either of these encroachments and will allow the current owner to increase the internal useable space of the existing dwelling.

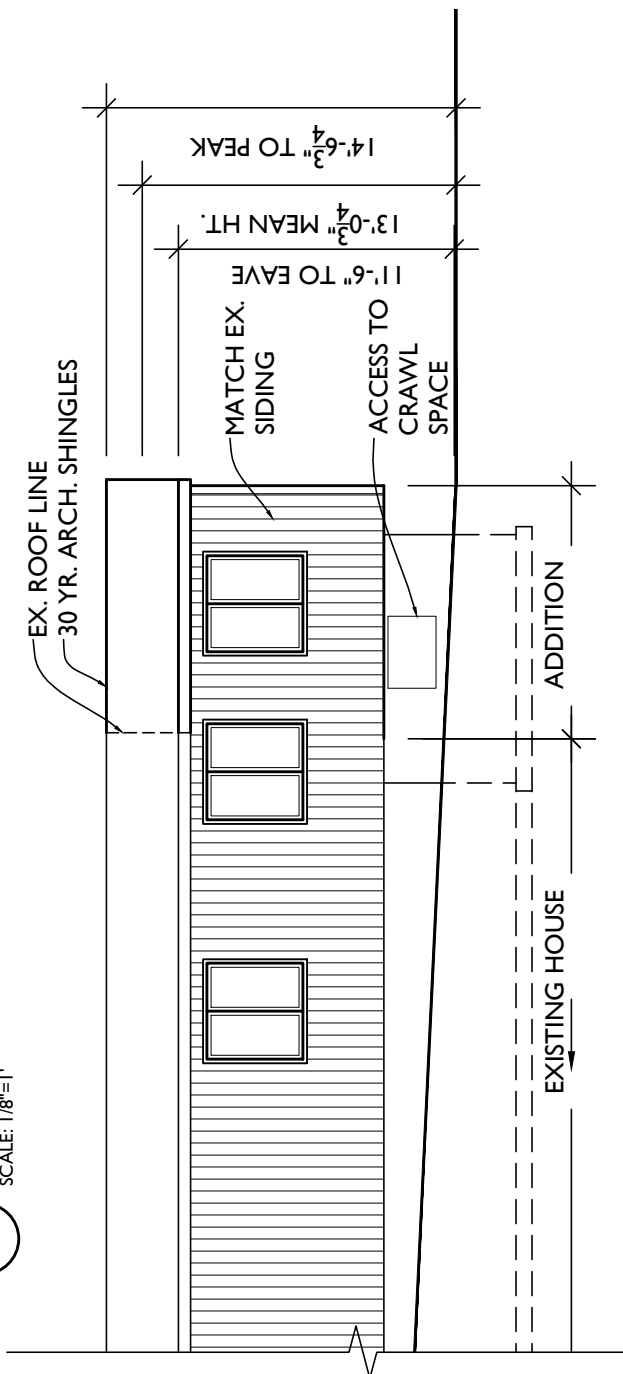
DPZ Recommendation: Based upon all of the above findings, the Department of Planning and Zoning recommends **approval** of this Amended Site Development Plan, ASDP-72-025, subject to compliance with any conditions imposed by the Planning Board.

 7/22/20

Amy Gowan, Director
Department of Planning and Zoning



BACK ELEVATION
SCALE: 1/8"=1'



RIGHT ELEVATION
SCALE: 1/8"=1'



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HUZA RESIDENCE
6159 AGAIL PLACE
HOWARD COUNTY, MD 21045

ELEVATIONS

SCALE: AS NOTED DATE: 03-18-2020 PROJECT: 18-398

III. **Justification** (if additional space is needed for justification, please attach to this application)

Statement of Support for the above request:

Justification must be specific to the subject property. The justification provided by the applicant should include all factors which rationalize or substantiate the request in accordance with the following criteria:

- a. Summarize any extraordinary hardships or practical difficulties which may result from strict compliance with the final development plan (FDP), MXD, PSC or PGCC development criteria requirements.
- b. Substantiate that approval of the request will not be detrimental to the public interests and will not alter the essential character of the neighborhood or district in which the lot is located.
- c. Confirm that approval of the request will not nullify the intent of the FDP, MXD, PSC or PGCC development criteria requirements and the request is the minimum infringement necessary to afford relief.

The lot size is significantly smaller than others surrounding the property, therefore the current building restriction lines impeding upon the existing building structure make it difficult to add onto the existing home. In this circumstance, the owner is proposing to infill the existing building footprint (infilling the existing deck) and not increasing it. The Village of Oakland Mills has approved these changes (see letter attached) as the proposed addition keeps the same character of the existing home and the rest of the neighborhood. Approval of this request will not nullify the intent of the FDP since the proposed addition does not impede any farther over the building restriction lines and simply infills the existing rear deck footprint. The existing addition from the previous owner is not detrimental to the public interests as it already exists and matches the character of the existing home and the rest of the neighborhood.

IV. **Plan Exhibit Checklist**

The application must be accompanied by fourteen (14) copies of a detailed plot plan of the property along with fourteen (14) copies of the application form. The detailed plot plan should indicate the following information relevant to the request:

Legend: <input checked="" type="checkbox"/> Information Provided	<input checked="" type="checkbox"/> Information Not Provided,
<input type="checkbox"/> NA Not Applicable	Justification Attached

- 1. Property line bearings and distances for the subject property with the area size.
- 2. North arrow.
- 3. Existing zoning of subject property and adjoining properties.
- 4. Scale of plan.
- 5. Any existing or proposed building(s), structures, driveways, easements, points of access, topography, natural features, and other objects and/or uses on subject property which may be relevant to the application.
- 6. Same as (5) above, if any, of adjoining properties which may be required in the proper examination of the application.
- 7. Delineation of all existing public roads.
- 8. Approximate delineation of floodplain, streams or wetland areas, if applicable.
- 9. Dimension the location of all existing and proposed structures, decks, pools, additions, etc. located on site to all property lines and the public road right-of-way lines.
- 10. Provide a detail/elevation of the existing and proposed structures and clearly dimension the heights of all buildings or additions from the average adjoining ground elevation.
- 11. Provide the square foot area for all existing structures, decks, porches, sheds, etc. and any proposed additions for lot coverage calculations.
- 12. Reference the approved site development plan, if applicable.
- 13. Any additional information to allow proper evaluation, i.e. the location of adjacent dwellings, environmentally sensitive areas, etc.

V. **Fees**

The fees required to be paid with submission of this application and posters shall be in accordance with the adopted Department of Planning and Zoning (DPZ) fee schedule. Checks shall be made payable to the *Director of Finance*. **The application will not be accepted for processing until the fee has been paid.**

VI. **Documents Required to Initiate Processing**

- a. Completed application form. [14 copies]
- b. Application fee.
- c. Fourteen (14) copies of a detailed plot plan of existing and proposed structures, with reference when applicable to the approved Site Development Plan.
- d. Village or Architectural Review Committee approval letter is recommended, but not required.
- e. **Please be advised that all plan application submissions are ACCEPTED BY APPOINTMENT ONLY. All plan submission appointments must be scheduled with the Division of Land Development at (410) 313-2350.**

VII. **Posting Requirements**

The subject property shall be posted with the time and date of the Planning Board public meeting for a period of time not less than fifteen (15) days prior to the meeting. Posters will be prepared by the DPZ and are to be erected and maintained by the applicant. The number of posters required shall be determined by the DPZ.

VIII. **Owners Certification**

The undersigned hereby certifies the information supplied herewith is correct and complete, confirms that the regulations and policies as referenced to in the attached are understood and authorizes periodic on-site inspections by the Howard County Subdivision Review Committee agencies. *** If the applicant is the owner's agent, written documentation from the owner granting that authority is required.**

(Signature of Property Owner) (Fee Simple Owner only) *

(Print Name)

(Date)

Owner's authorization attached

OWNER (Fee Simple Only):

SURVEYOR/OTHER CONSULTANT:

(Name)

(Name)

(Address)

(Address)

(City, State, Zip Code)

(City, State, Zip Code)

(Telephone)

(Fax)

(Telephone)

(Fax)

(E-Mail) _____

(E-Mail) _____

Contact Person: _____

Contact Person: _____

Howard County Department of Planning and Zoning
Division of Land Development

APPLICATION FOR MINOR RESIDENTIAL STRUCTURES AND ADDITIONS IN THE NEW TOWN,
MXD, PSC OR PGCC ZONING DISTRICTS FOR CONCEPT SITE DEVELOPMENT PLAN OR
AMENDED SITE DEVELOPMENT PLAN APPROVAL
(For DPZ Use Only)

Project Name _____ DPZ File Number _____
DPZ Plan Reviewer _____ Submission Date _____
Plan Consultant Representative _____ Time _____

I. **Application Requirements** *Indicate Yes, No or N/A*

Application is complete..... _____
Required number of plans and applications are provided _____
a. _____ Plans (14)
b. _____ Applications and any support materials (14)

II. **Fee Computation**

Variance Hearing Fee \$175.00
Poster fee: (___ \$25 per poster) _____

TOTAL _____

III. **Certification**

Cash Receipt No. _____
SAP Acct 1000000000-3000-3000000000-PWPW000000000000-432530

Check issued by _____

___ Application is accepted for processing.

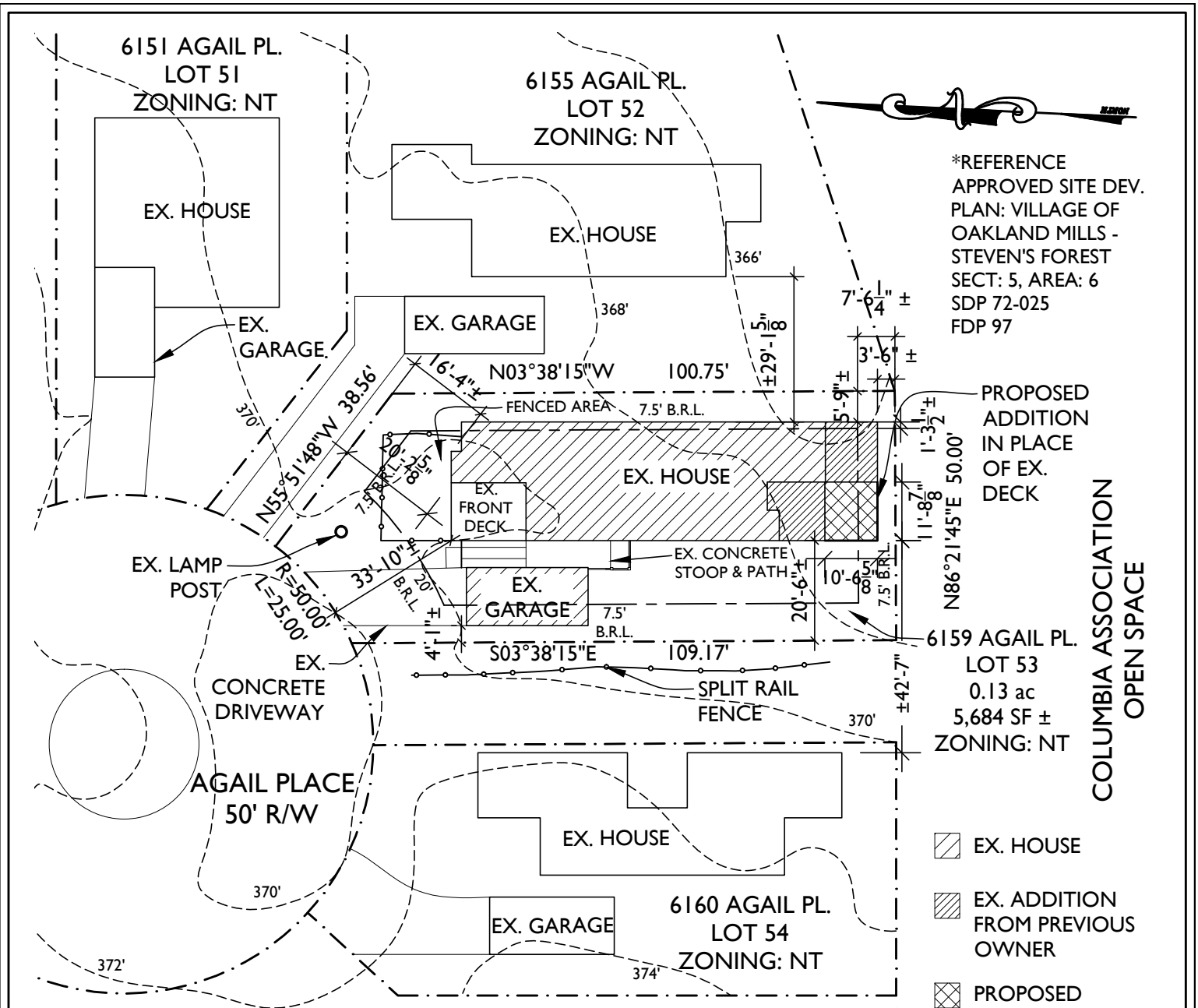
___ Application is rejected.

Reason: _____

___ Resubmission accepted for processing. Date _____ Staff Initials _____

___ SRC meeting date/comments due date.




Comments/Notes _____



*REFERENCE
 APPROVED SITE DEV.
 PLAN: VILLAGE OF
 OAKLAND MILLS -
 STEVEN'S FOREST
 SECT: 5, AREA: 6
 SDP 72-025
 FDP 97

PROPOSED
 ADDITION
 IN PLACE
 OF EX.
 DECK

COLUMBIA ASSOCIATION
 OPEN SPACE

-  EX. HOUSE
-  EX. ADDITION FROM PREVIOUS OWNER
-  PROPOSED ADDITION IN PLACE OF EX. DECK

SITE INFO:
 6159 AGAIL PLACE
 ZONING: NT
 COLUMBIA, MARYLAND
 TAX MAP: 0036
 GRID: 0015
 PARCEL: 0341

EX. HOUSE TOTAL GROSS S.F.: 1,722 S.F.
 EX. GARAGE GROSS S.F.: 284 S.F.
 EX. FRONT DECK: 174 S.F.
 EX. BACK DECK: 124 S.F.
 PROPOSED ADDITION GROSS S.F.: 124 S.F. (IN PLACE OF EX. BACK DECK)
 PROPOSED HOUSE TOTAL GROSS S.F.: 1,846 S.F.

EX. LOT COVERAGE:
 40.5%
 PROPOSED LOT COVERAGE:
 40.5%



7612 Browns Bridge Rd
 Highland, MD 20777
 301-776-2666
 301-776-2886 fax
 info@TransformingArchitecture.com
 www.TransformingArchitecture.com

HUZA RESIDENCE		
6159 AGAIL PLACE HOWARD COUNTY, MD 21045		
SITE PLAN		
SCALE: 1"-30'	DATE: 05-14-2020	PROJECT: 18-398

March 25, 2020

Howard County Department of Planning and Zoning
George Howard Building
3430 Court House Drive
Ellicott City, MD 21043

RE: Letter of Authorization – ASDP Application (6159 Agail Place)

To whom it may concern,

This letter authorizes Karen Pitsley, as our agent, to obtain and sign the application from the Howard County Department of Planning and Zoning on our behalf for the address of proposed work as stated below.

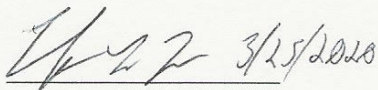
Property Owner: Christopher M. Huza
Contact Information:

Phone: (443)-838-1838

E-mail: huzac@yahoo.com

Address of Proposed Work and Request for Variance: 6159 Agail Place, Columbia MD 21045

Sincerely,

A handwritten signature in black ink, appearing to read 'C. Huza', followed by the date '3/25/2020' written in a similar cursive style.

Christopher Huza



Transforming Architecture LLC
7612 Browns Bridge Road
Highland, Maryland 20777
p. 301-776-2666
www.TransformingArchitecture.com
info@TransformingArchitecture.com

May 14, 2020

Howard County Dept. of Planning and Zoning
3430 Court House Drive
Ellicott City, MD 21043

RE: ASDP-72-025 6159 Agail Place, VOM

To whom it may concern,

Our team is resubmitting the requested information and revised plans for the above referenced amended site development plan on behalf of the property's owner, Christopher Huza (see attached Letter of Authorization).

We have amended the application to reflect the request of a reduction in the 7.5' side and rear yard setbacks to 5'-9" and 3'-6" respectively in order to accommodate for an addition that was made by the previous owner of the property that was not approved by county records. The current owner was not aware that the existing addition was not compliant at the time of purchase and so that information has been outlined on the attached site plan. However, the current proposed addition in place of the existing deck (built by the previous property's owner) does not impede any further over the boundary restriction lines than the existing house does as of today.

The application has also been revised to request that the current lot coverage restriction of 30% be increased to 40.5%. The current owner is not proposing to alter the existing lot coverage of 40.5% with the current proposed addition on the back of the house, as it takes place of the existing deck.

If you have any additional questions or concerns, please do not hesitate to contact us. We appreciate your time and consideration.

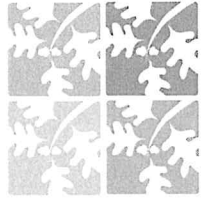
Sincerely,

Karen Pitsley, AIA

CEO



Transforming Architecture LLC
7612 Browns Bridge Road
Highland, Maryland 20777
p. 301-776-2666
www.TransformingArchitecture.com
info@TransformingArchitecture.com



oakland mills
we value connections

Oakland Mills Community Association

The Other Barn • 5851 Robert Oliver Place • Columbia, MD 21045
410-730-4610 • oaklandmills.org

January 28, 2020

Christopher Huza
6159 Agail Place
Columbia, MD 21045

Dear Homeowner,

Enclosed is a copy of the Exterior Alteration Application #12505. This application was reviewed by the Oakland Mills Resident Architecture Committee on Jan 16, 2020. Your application was **Approved as Submitted**. Please refer to the enclosed application for more information.

Approved addition. All new materials to match the existing house.

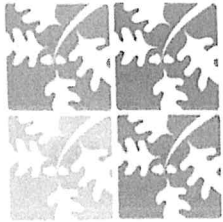
Please let me know when you have completed the approved changes. Any variance from the approved application requires an additional application.

Please keep this document with the important papers for the property. Thank you for working with us during the Covenant Process.

Sincerely,

Carrie Wenholz, Covenant Advisor for Applications
Oakland Mills Community Association

Enclosure



oakland mills
we value connections

**Oakland Mills Community Association
EXTERIOR ALTERATION APPLICATION**

APPLICATION SHOULD BE RETURNED TO:
Oakland Mills Community Association
5851 Robert Oliver Place
Columbia, MD 21045
Attn: Covenant Advisor,
applications@oaklandmills.org
Phone 410-730-4610 Fax 410-730-4620

FOR OFFICE USE ONLY

OM # 12505
Date Rec'd 1/1/20
RAC: 1/16
AC Deadline _____
LoC/Comp _____
CA/HOA _____
Trees _____
AC Appeal _____
S.A.L. _____

✓ NAME: Christopher Huza
ADDRESS: 6159 Agail Pl
PHONE: (Primary) 443-838-1838 (2nd) _____
✓ EMAIL: HUZAC@Yahoo.com

The Resident Architecture Committee (RAC) meets on the first and third Thursdays of each month at 7:30pm at The Other Barn. Your application will be assigned to a committee member for review. Please consult The Columbia Flier, visit the lobby of the Other Barn, or visit our website at oaklandmills.org for submission deadlines, meeting dates, and other covenant information. You are strongly encouraged to attend the meeting at which your application is considered. Please contact the Covenant Advisor if you have any questions.

Description of Proposed Changes: Turning the back deck
into an interior room of the house.

All new materials to match existing. **SEE ATTACHED**

Signature: [Signature] Date: 12/26/2019
Your Signature indicates acceptance of the Instructions to Applicant on page 2.

Please attach the following information to your application as appropriate for your alteration.

1. **Official Site Plan** - with dimensions, boundaries, present structures and proposed alterations.
2. **Scale Drawings** - of proposed construction including elevations/all views
3. **Color/Material Samples** - roof, siding, trim, paint colors, etc.
4. **Lighting Plan** - of proposed changes to the exterior lighting of the property.
5. **Picture of House/Property** - including the affected area.

ACKNOWLEDGEMENT OF RESIDENTS NEIGHBORING YOUR PROPERTY.

Note: Affected and surrounding residents' signatures indicate awareness only and do not represent approval or disapproval of your alteration.

NAME: [Signature] For Brad Feret ADDRESS: 6151 Agail Pl
NAME: [Signature] ADDRESS: 6141 Agail Pl
NAME: [Signature] ADDRESS: 6152 Agail Pl

INSTRUCTIONS TO THE APPLICANT:

1. Approval of this application does not supersede any provisions of the Howard County building and zoning codes. For information regarding building permits call 410-313-2455.
2. In addition to approval by the Architecture Committee, your proposed project may also be subject to additional association covenants or restrictions. Generally, the more restrictive criteria shall apply. It is the applicant's responsibility to insure compliance with all applicable restrictions.
3. Projects shall be completed in exact compliance with all terms and conditions of the approval. Changes to an approved project will require a new application.
4. Projects shall be approved only within the lot owners' property lines.
5. The entire project must be completed within 180 days from the time construction begins. If additional time becomes necessary, please advise the covenant advisor.
6. Exterior alterations begun without approval of the Architecture Committee are in violation of the Oakland Mills covenants and done at the applicant's own risk.
7. If this application involves the placement of a structure on a portion of the applicant's property adjacent to Columbia Association (CA) property and any portion of the structure is placed on CA property, applicant disclaims for himself/herself and his/her successors any interest in CA's property, agrees to indemnify CA against any costs it incurs to protect its property rights, and agrees to remove the structure from CA's property.

RECOMMENDATION OF THE RESIDENT ARCHITECTURE COMMITTEE (RAC):

Approved With provisions Denied Mixed DATE: 1/16/2020

Provisions/Explanation: _____

Tabled for the following reasons, 1ST DATE: _____ 2ND DATE: _____

1ST TABLE: _____

2ND TABLE: _____

For RAC: [Signature] For RAC: [Signature]

ARCHITECTURE COMMITTEE ACTION:

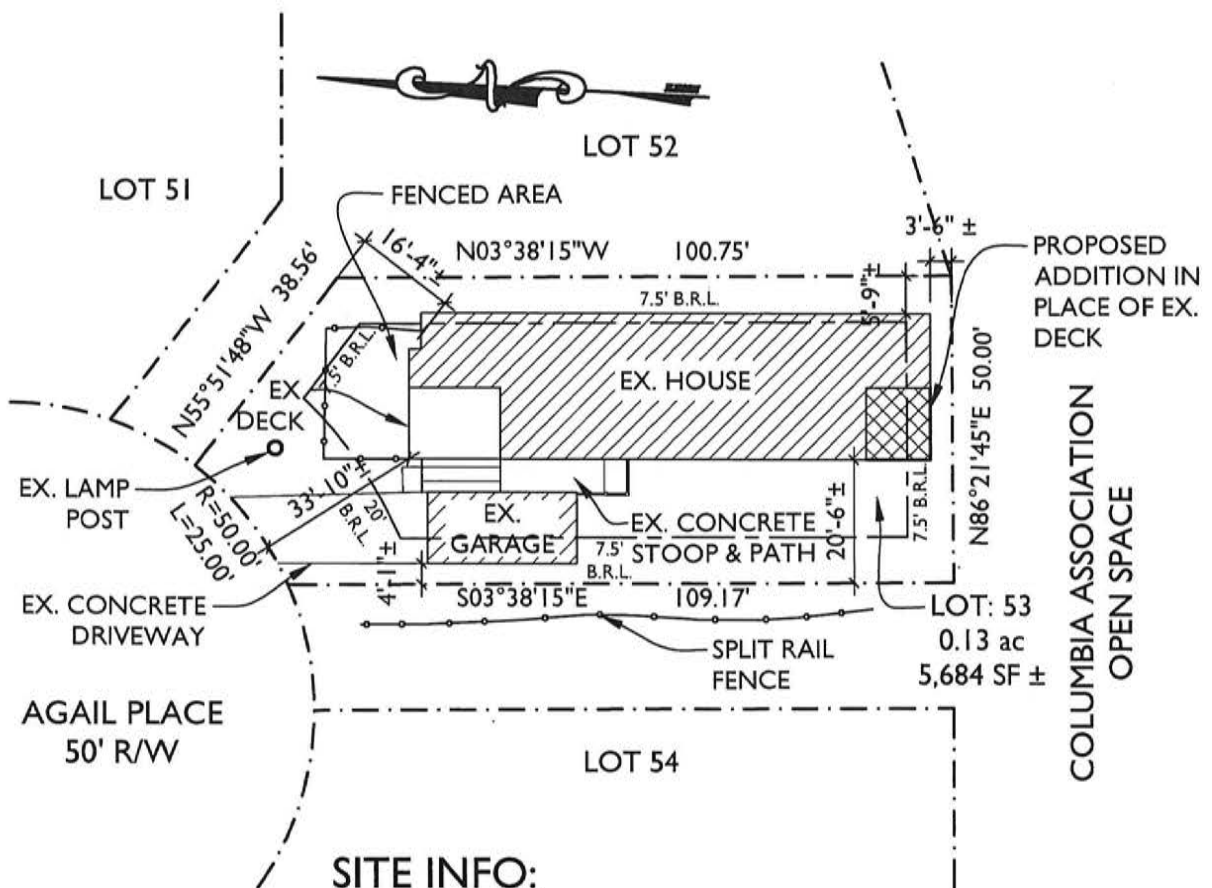
Approve RAC Recommendations Other Action

Signature of AC Member: [Signature] DATE: 24 Jan 2020

If you disagree with this decision you may, within ten (10) days of receipt of this notice, notify the Covenant Advisor in writing of your intent to appeal. You will be notified of the appeal date.

ARCHITECTURE COMMITTEE APPEAL ACTION:

Signature of AC Member: _____ DATE: _____



SITE INFO:
 6159 AGAIL PLACE
 ZONING: NT
 COLUMBIA, MARYLAND
 TAX MAP: 0036 , GRID: 0015, PARCEL: 0341

SITE PLAN
 SCALE: 1"=30'-0"



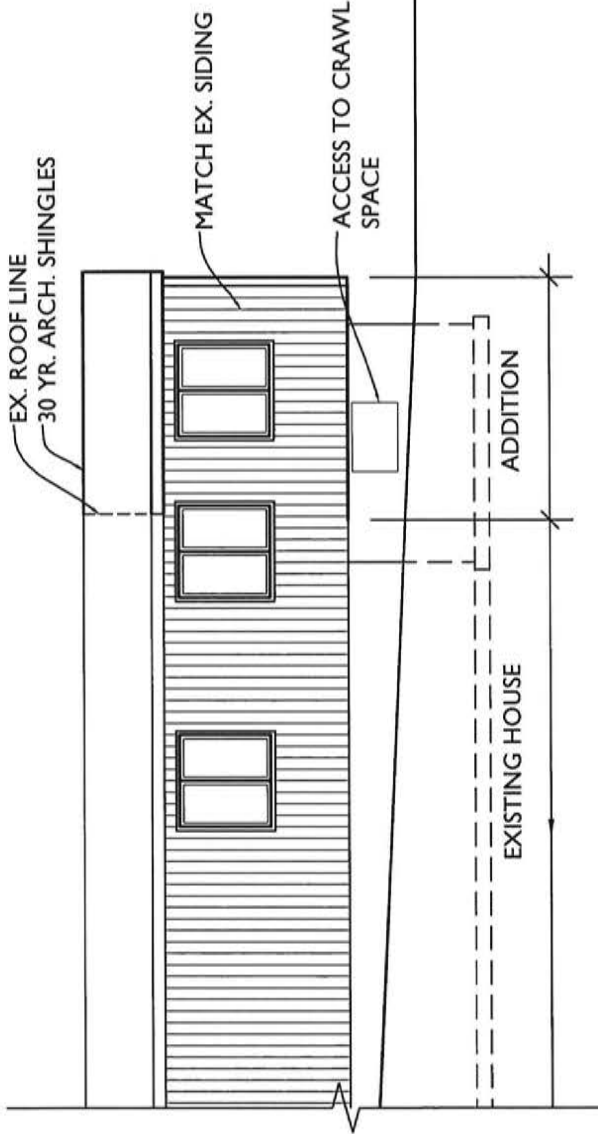
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HUZA RESIDENCE

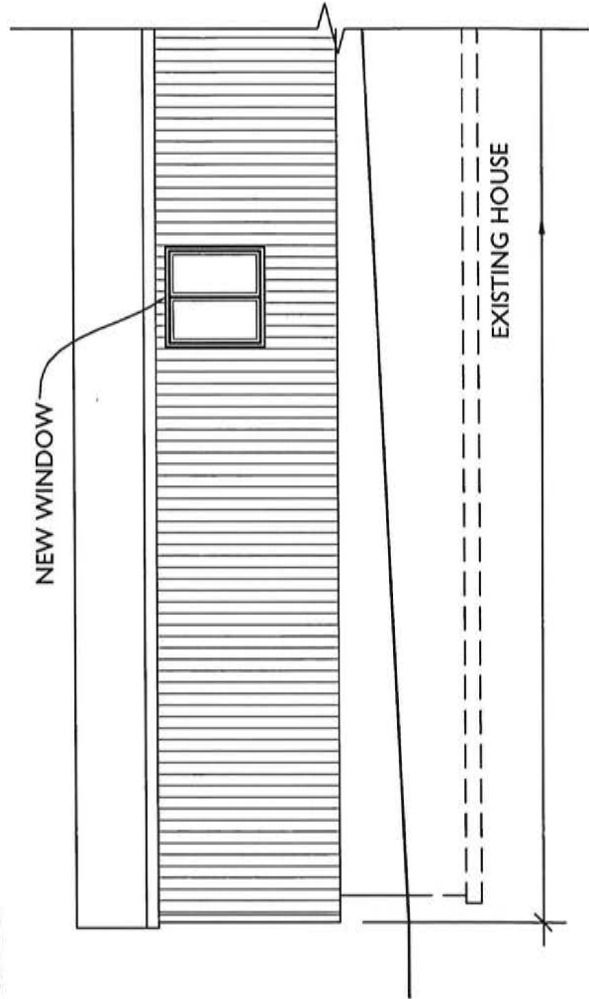
6159 AGAIL PLACE
 HOWARD COUNTY, MD 21045

SITE PLAN

SCALE: AS NOTED | DATE: 12-16-2010 | PROJECT: 18-308



RIGHT ELEVATION
SCALE: 1/8"=1'



LEFT ELEVATION
SCALE: 1/8"=1'



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HUZA RESIDENCE

6159 AGAIL PLACE
HOWARD COUNTY, MD 21045

HOA DRAWINGS

SCALE: AS NOTED | DATE: 01-02-2020 | PROJECT: 18-398



BACK ELEVATION
SCALE: 1/8"=1'



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HUZA RESIDENCE
6159 AGAIL PLACE
HOWARD COUNTY, MD 21045

HOA DRAWINGS

SCALE: AS NOTED DATE: 01-02-2020 PROJECT: 18-098



7614 Browns Bridge Road
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info@TransformingArchitecture.com
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STAMP
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 13442, EXPIRATION 10-22-2021.

NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE AND, AS SUCH, MAY NOT BE REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE
PERMIT

PROJECT TITLE
THE HUZA RESIDENCE
6159 Agall Place
Columbia, MD 21045

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 18-398
DATE 12/16/2019
SCALE AS NOTED

DRAWING TITLE
PROJECT NOTES SCHEDULES, + DEMO PLAN
SHEET NUMBER
A-100

SCOPE OF WORK
ADD 123 SQ. ADDITION TO REAR OF EXISTING HOME FOR MASTER SUITE TO REPLACE EX. DECK. RENOVATE 400 SQ. FT. EX. HOUSE TO REFINISH EXISTING BEDROOMS AND MASTER SUITE IN ADDITION TO CREATING A PLAYROOM AND STORAGE ROOM.
1,723 EXISTING GROSS S.F.
+ 124 ADDITION GROSS S.F.
= 1,847 NEW GROSS S.F. (CONDITIONED)
385 EXISTING GARAGE GROSS S.F.

RESIDENTIAL NOTES & SPECIFICATIONS
GENERAL CONSTRUCTION NOTES
1. THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE INCLUDING CONTRACT DOCUMENTS FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ALONE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSION ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES, STEEL, STAIRS, ROOF AND/OR FLOOR TRUSSES.
3. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
4. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
5. ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.
6. PROVIDE SLIP-RESISTANT FLOOR ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.
7. PROVIDE HANDRAILS 36" ABOVE FINISH ON ALL STAIRS. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 36" OR MORE ABOVE GRADE OR FLOOR LEVEL. GUARDS SHALL BE INSTALLED WITH 4" HORIZONTAL SPACING TO PREVENT PASSAGE OF A 4" SPHERE.
8. PROVIDE HORIZONTAL 2X12 FLOORING AT EVERY FLOOR INTERNAL BULKHEAD AND CHASE, IF OPEN WOOD FLOOR TRUSSES ARE UTILIZED. PROVIDE 1/2" GIB DRAFFT TOPPING, NOT TO EXCEED 1200 SF.
9. PROVIDE A MINIMUM 6" HED CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".
10. PROVIDE LIGHT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/200 FREESTRIATION FOR NON-FLAMMABLE PROJECTED LATHING OR GABLE END VENTS.
11. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.
12. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATE AT FLOORS, CEILING, WINDOWS, DOOR FLANGES AND JAMBS.
13. SHEATHING PENETRATIONS SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATION.
14. SLOPE ALL EXTERIOR PATIORS, PORCHES, WALKS AND GARAGE SLABS 1/4" IN 12" TO DRAIN OR AS NOTED ON PLANS.
15. PROVIDE TERMITH PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

GENERAL CONDITIONS
1. ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODE, 2015.
2. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, EQUIPMENT, ETC. AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.
4. DESIGN STANDARDS
USE GROUP: RESIDENTIAL
CONCRETE TYPE: ONE (1) DAY WOOD FRAME W/ SHODS
5. DESIGN LOADS (R.C. TABLE 301.5) WIND LOAD
ROOF LIVE LOAD: 30 PSF WIND SPEED 115 MPH
GROUND SNOW LOAD: 30 PSF WIND FACTOR 1
FLOOR LIVE LOAD (F.L.): 40 PSF DDF FACTOR "C"
FLOOR LIVE LOAD (F.L.): 30 PSF IBC 1609.5.1
ATTIC LIVE LOAD (ATTIC): 20 PSF WEATHERING SEVERE
GARAGE LIVE LOAD: 50 PSF
GUARD RAILS: 200 LBS. FORCE IN ANY DIRECTION
SOIL BEARING: ASSUMED 2000 PSF. FRONT LINE DEPTH: 30"
TERRACE: VERY HEAVY DECK: VERY HEAVY
RANDOM RESISTANT CONSTRUCTION REQ. YES

CONCRETE
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCl) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318-99.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
3. ALL REINFORCING BAR SHALL BE GRADE 60 (F_y 60,000 PSI).
4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 6#S @ 18" ON CENTER W/ 1" W/ 4" AND BE POURED OVER A 6" (6") MIL POLY VAPOR BARRIER OVER 4" FORDIS GRANULAR FILL.
5. ALL INTERIOR CONCRETE SLABS 30" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOINTS.
6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB AND HAVE 4" GRANULAR FILL WITH BELOW CONCRETE SLAB.
7. WHERE PORCH (NOT NON-SOLICITALLY POURED), PATIO OR OTHER DECK/TERACE SLAB WORK ABUTS AN EXISTING CONCRETE SLAB PROVIDE A 1" ASPHALT IMPREGNATED FIBER REINFORCED CONCRETE JOINT.
8. ALL REINFORCING SHALL CONFORM TO SPECIFICATIONS FOR DEFORMED BULLETT STEEL BARS FOR CONCRETE REINFORCEMENT (ASTM A 618-90). WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A-185.
9. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTIONS WORK, IF NOT CONTINUOUS, AND REINFORCEMENT FOR TERRACE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED, SHALL LAP 30 BAR DIAMETERS OR 18" MINIMUM AT ALL SPLICES OR SHALL HAVE DOWELS OF THE SAME BAR SIZE AND SPACING AS THAT OF REINFORCING TO BE SPLICED OR WORK TO BE CONNECTED.
10. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:
CONCRETE DEPOSITED AGAINST GROUND 3"
FORMED CONCRETE IN CONTACT WITH GROUND 3"
FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

PREPARATION FOR SLAB
1. REMOVE ALL VEGETATION AND TOP SOIL CONTAINING ORGANIC MATERIALS FROM THE ENTIRE AREA TO BE COVERED BY THE BUILDING.
2. IF FILL IS REQUIRED TO RAISE SLAB, IDENTIFY THE SUB GRADE TO A DEPTH OF 12" AND RECOMPACT TO A MINIMUM DENSITY OF 95% AND A MAXIMUM OF 99% OF STANDARD PROCTOR DENSITY (ASTM D 1556) WITH A MOISTURE CONTENT AT OR SLIGHTLY ABOVE OPTIMUM.
3. INSTALL FILL IN 6" LIFT OR 8" THICK AND UNIFORMLY COMPACTED AS IN THE NOTE ABOVE.
4. FILL MATERIALS SHALL BE VERY SANDY TO CLAYEY SAND WITH A PLASTICITY INDEX (PI) IF BETWEEN 2 AND 15.
FOUNDATION PERIMETER INSULATION
1. INSTALL EXPANDED POLYSTYRENE FOAM BORDER FID 50# (R-5) SUBS. DENSITY 2.1 LBS PER CU. FT., 75" VALUE PER 1" THICKNESS, 5-41

STAIR:
DIMENSION:
MAX N. 7 1/2"
MIN 7 1/4"

SHEET INDEX

NO.	DESCRIPTION
A-100	PROJECT NOTES, SCHEDULES, & DEMO PLAN
A-101	FOUNDATION AND FLOOR PLANS
A-102	ROOF, ROOF FRAMING, FLOOR FRAMING, & ELECTRICAL PLANS
A-103	LATERAL BRACING PLAN AND ELEVATION
A-100	EXTERIOR ELEVATIONS & BUILDING SECTION A
A-201	BUILDING SECTION B & INTERIOR ELEVATIONS

STRUCTURAL STEEL NOTES
1. MATERIALS
STRUCTURAL STEEL AND PLATE: ASTM A36
UNFINISHED BOLTS: ASTM A307
HIGH-STRENGTH BOLTS: ASTM A325
WELDING ELECTRODES: ASTM 133 CLASS E70
2. BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE ASG STANDARD (FL. DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS. THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).
3. ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.
4. STEEL WORK SHALL BE FABRICATED AND ERCTED IN ACCORDANCE WITH LATEST ASG SPECIFICATIONS.
5. SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.
6. STEEL UNITS: FOR ALL OPENINGS AND RECESSES IN TOE OR BRICK FACED WALLS NOT SPECIFICALLY DETAILED, PROVIDE STEEL ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. STEEL ANGLE TO HAVE MINIMUM BEARING OF 4" AT EACH END. HORIZONTAL LEG SHALL BE 1/4" UNLESS OTHERWISE SHOWN.
7. UNLESS OTHERWISE NOTED OTHERWISE ON PLANS, NOTE ALL UNITS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.
8. STEEL BEAM POCKETS: SIZE AS INDICATED ON PLANS. BEAMS SHALL HAVE A MINIMUM BEARING OF 4" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE FARGE FINISH.
9. 2x6 BEAM PLATE IS ANCHORED TO STEEL BEAM WITH 3/4" DIAMETER STEEL BOLTS OR EQUIVALENT POWER ACTIVATED FASTENERS AT 48" O.C. FASTENERS TO BE LOCATED A NEAR TO CENTER OF BEAM AS POSSIBLE.
10. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.
MASONRY
1. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. EACH TIE SHALL BE 3" ON CENTER, HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16". THESE TIES SHALL BE SPACED NOT MORE THAN 12" ON CENTER AND PLACED WITHIN 12" OF WALL FINISH.
2. CONCRETE MASONRY UNITS SHALL MEET ASTM C 90, GRADE 8, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI.
3. CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SUPER SATURATION (E.G. WATER SOAKING OR OTHER LATERAL FORCES) FROM BUILDING OR DISTORTING FINISHED MASONRY WALLS BY WAY OF SHOWING, BRACING OR OTHER MEANS AS SITE REQUIRE.
4. USE TYPE "N" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.
5. USE TYPE "M" MORTAR FOR EXTERIOR, ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED EXCEPTION: MASONRY CONSTRUCTION PROHIBITING HEAT RESISTANT MORTAR SHALL HAVE A REFRACTORY AIR SETTING MORTAR & BRICK VENEER TO BE INSTALLED WITHIN 3/4" DIA WEEP HOLES SPACED AT A MAXIMUM OF 24" O.C. HORIZONTALLY.

HEADERS
1. ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.
WOOD FRAMING
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS, 16" O.C. WITH DOUBLE TOP PLATE. MINIMUM 2X12 HEADS/RAILS AT ALL OPENINGS IN BEARING OR EXTERIOR WALLS. SHEATHING TO BE 5/8" CDX PLYWOOD OR OSB.
2. ALL FRAMES LARGER THAN 4" MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS OF 1200 PSI (F_b 1200 PSI) AND A MINIMUM MODULUS OF ELASTICITY OF 1,600,000 PSI (E 1,600,000 PSI).
3. ALL FLOOR DECKS ARE TO BE GLED TO SUPPORTING BEAMS AND JOIST WITH PL-99 ADHESIVE AS MANUFACTURED BY "CONTECH" OR APPROVED EQUAL.
4. ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLED WITH 99-99 ADHESIVE AND NAILED TOGETHER @ 12".
5. ALL WOOD POSTS MADE UP OF MULTIPLE PIECES SHALL BE GLED WITH PL-99 ADHESIVE AND NAILED @ 12" O.C. BOTH SIDES.
6. DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UN-SUPPORTED) INSTALL DOUBLE JOISTS.
7. ALL BUTTS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRACING @ 8" O.C. OR AT CENTER OF SPAN WHICHEVER IS LESS.
8. CONTINUOUS LOAD PATHS: STEEL HARDWARE CONNECTIONS TO GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATIONS TO THE ROOF RAFTERS AT ALL STUDS. THESE SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTIONS, FLOOR TO FLOOR CONNECTIONS, AND ROOF RAFTER HURRICANE CONNECTIONS.
9. MEMBER BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 1" ON WOOD AND 4" ON MASONRY.
10. INSTALL WOOD JOIST HANGERS & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:
JOIST HANGER MIN. CAPACITY: 800#
BEAM HANGER MIN. CAPACITY: 3500#
11. INSTALL MINIMUM DOUBLE STUDS AT JAMBS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.
12. ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH ASCE 7-16.
13. FOUNDATION ANCHORAGE: SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC R403.1.4.
FINISHES
1. ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 74,000 OR BETTER AND A SMOKE DEVELOPED INDEX OF 5400.

ASB LEAKAGE
BUILDING THERMAL ENVELOPE: THE BUILDING THERMAL ENVELOPE SHALL BE DETAILED SEALED TO LIMIT AIR INFILTRATION. THE SEALING METHODS BETWEEN DISJUNCT MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALLED: GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FOR SOLID MATERIAL.
1. INSTALL FILL IN 6" LIFT OR 8" THICK AND UNIFORMLY COMPACTED AS IN THE NOTE ABOVE.
2. SITE BUILT WINDOWS, DOORS AND SKYLIGHTS.
3. OPENINGS BETWEEN WINDOW OR DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
4. UTILITY PENETRATIONS.
5. DRIPPED CEILING OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
6. KNEE WALLS.
7. WALLS AND CEILING SEPARATING A GARAGE FROM CONDITIONED SPACE.
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
9. COMMON WALLS BETWEEN DWELLING UNITS.
10. ATTIC ACCESS OPENINGS.
11. RIM JOIST JOINTS.
12. OTHER SOURCES OF INFILTRATION.

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	WALLS	CEILING	REMARKS
MASTER CLOSET				
MASTER BEDROOM				
MASTER BATHROOM				
BEDROOM 1				
BEDROOM 2				
PLAYROOM				
HALL				
COAT CLOSET				
STORAGE				

WINDOW SCHEDULE

WINDOW	REMARKS
TYPE MAT. SIZE. OPERATION	
A VINYL 40x40 SLIDING	

DOOR SCHEDULE

DOOR	REMARKS
NO. SIZE. INT/EXT. SADDLE LABEL	ALL DOORS U.N.O. & PANEL.
01 (2) 20x48 INT NO DOUBLE BIFOLD DOOR	
02 (2) 20x48 INT NO DOUBLE BIFOLD DOOR	
03 30x68 INT NO SINGLE DOOR	
04 20x48 INT NO SINGLE DOOR	
05 28x48 INT NO SINGLE DOOR	
06 30x68 INT NO SINGLE DOOR	
07 24x48 INT NO SINGLE DOOR	
08 (2) 20x48 INT NO DOUBLE DOOR	

HEADER SCHEDULE (U.N.O.)

OPENING SIZE	HEADER SIZE
OPENINGS UP TO 3'	(2) 2x10
OPENINGS GREATER THAN 3' UP TO 6'	(1) 1.75 x 5.50 1/8E MICROLAM
OPENINGS GREATER THAN 6' UP TO 8'	(2) 1.75 x 11.875 1/8E MICROLAM

REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAX. WALL HT. (FT.)	MAX. UNBALANCED BACKFILL HT.	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 10" NOMINAL WALL THICKNESS			
		SOIL CLASSES	GW, GC, SV & SP SOILS	GM, GC, SM, SM-SC & ML SOILS	SC, MH, ML-CL & INORG. CL SOILS
9	3	#4 @ 34" O.C.	#4 @ 34" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6	#4 @ 34" O.C.	#4 @ 40" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7	#4 @ 34" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8	#4 @ 32" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
9	9	#5 @ 40" O.C.	#4 @ 40" O.C.	#7 @ 40" O.C.	#7 @ 40" O.C.

MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 8" NOMINAL WALL THICKNESS

3	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
4	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 48" O.C.
8	#5 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 48" O.C.
9	#6 @ 40" O.C.	#6 @ 34" O.C.	#6 @ 48" O.C.

MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 12" NOMINAL WALL THICKNESS

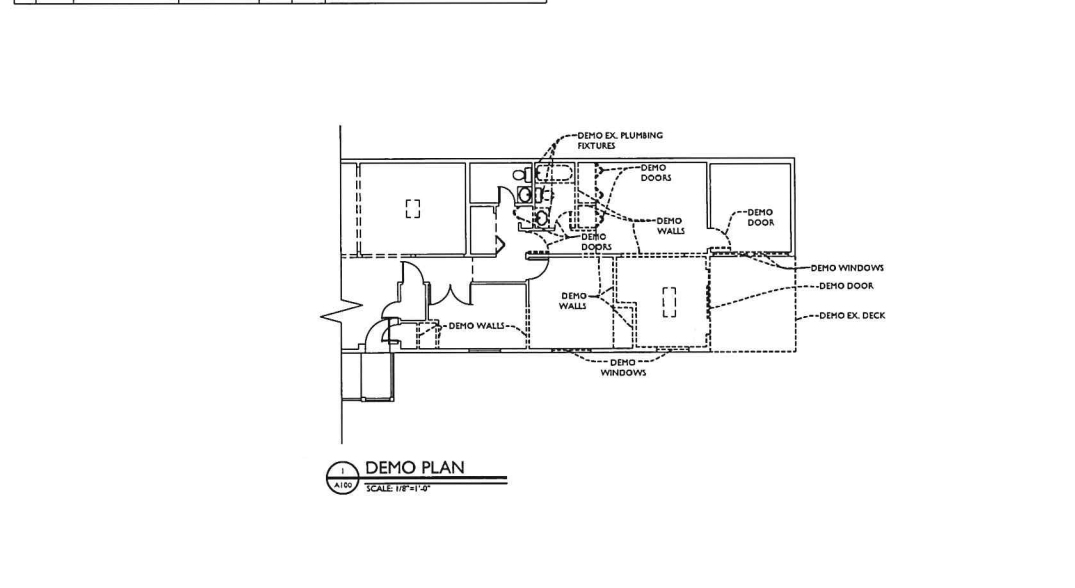
7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 48" O.C.
10'-0"	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

STEEL UNITS SCHEDULE (U.N.O.)

STEEL ANGLE SIZE	# STORIES ABOVE	# OF 1/2" REBARS
3 x 3 x 1/4	NONE ONE TWO	1
4 x 3 x 1/4	8'-0" 9'-0" 10'-0"	1
6 x 3-1/2 x 1/4	14'-0" 8'-0" 3'-6"	2
2 x 6 x 3-1/2 x 1/4	10'-0" 11'-0" 11'-0"	4

CABINET SCHEDULE

NO.	DESIGNATION	W-D-H	TYPE	REMARKS
01	V58	36-21-34.5	BASE	VANITY SINK BASE
02	3D9V	18-21-34.5	BASE	3 DRAWER VANITY
03	V58	36-21-34.5	BASE	VANITY SINK BASE



DEMO PLAN
SCALE: 1/8"=1'-0"

LINE TYPE KEY:

NEW WALL	=====
EXIST. WALL	_____
ABOVE LINE	---
FDN. WALL	=====
DEMO WALL	----



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STAMP

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13642, EXPIRATION 10-22-2021.

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PROJECT PHASE
PERMIT

PROJECT TITLE
THE HUZA RESIDENCE
 6159 Agail Place
 Columbia, MD 21045

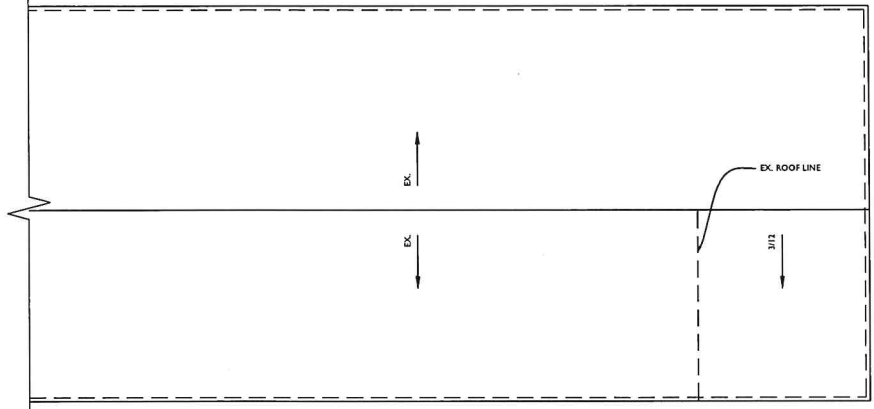
REVISIONS

SYMBOL	DATE	ISSUED FOR

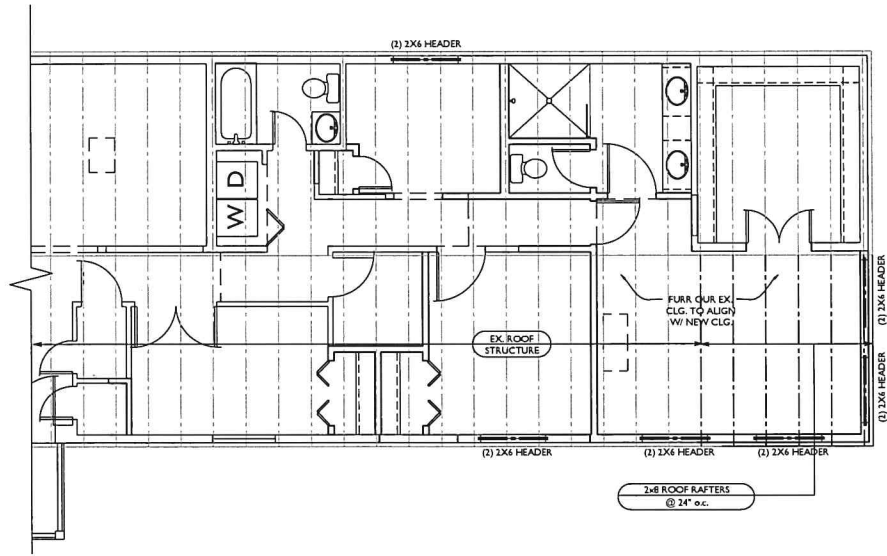
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DRAWING TITLE
ROOF, FRAMING, + ELEC. PLANS

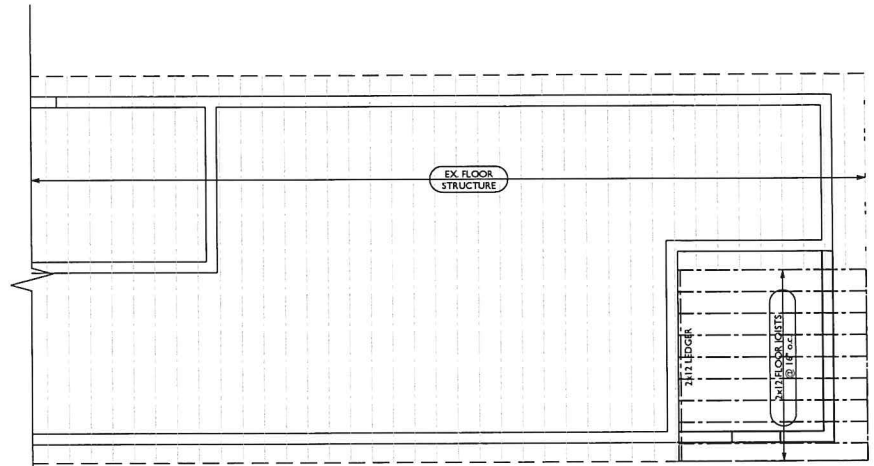
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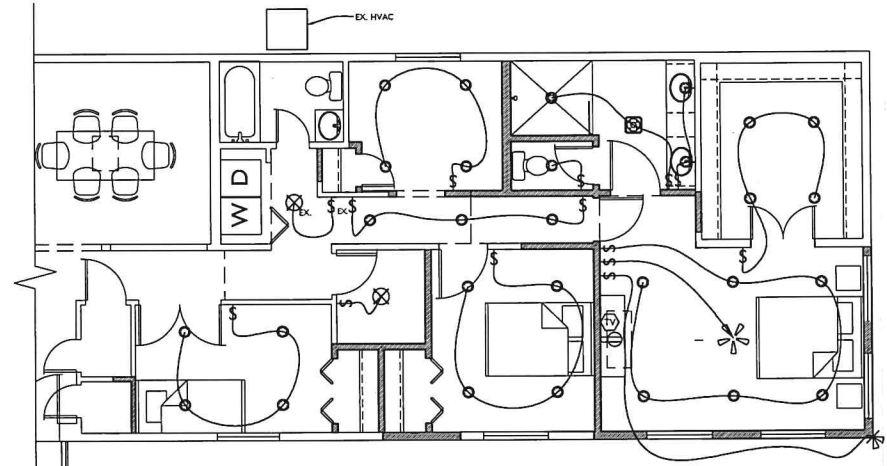
1 ROOF PLAN
 SCALE: 1/4"=1'-0"



2 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"



3 FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"



4 ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"

LINE TYPE KEY:
 NEW WALL [Solid Line]
 EXIST. WALL [Dashed Line]
 ABOVE LINE [Dashed Line]
 FDN. WALL [Dotted Line]
 DEMO WALL [Dashed Line]

ELECTRICAL LEGEND

- § SWITCH
- ⊖ OUTLET
- ⊖ GFI OUTLET
- RECESSED LED CLG. LIGHT
- ⊖ LED WALL MOUNT FIXTURE
- ⊖ LED CLG. FIXTURE
- ⊖ EXHAUST FAN W/ HUMIDISTAT
- ⊖ CLG. FAN W/ LIGHT
- ⊖ CABLE TV
- ⊖ SD HARDWIRED SMOKE DETECTOR W/ INTERNAL BATTERY & CARBON MONOXIDE DETECTOR (COMBINED UNIT)
- ⊖ 2-HEAD FLOOD
- ⊖ HOSE BIB

ELECTRICAL NOTES:

1. OUTLETS PER CODE UNLESS OTHERWISE NOTED @ 18" H, 42" H ABOVE COUNTERTOPS.
2. MOUNT LIGHT SWITCHES @ 42" H. MAX. ROCKER-TYPE.
3. SWITCHES PROVIDE DIMMERS FOR ALL RECESSED LIGHTS.
4. PROVIDE HARD-WIRED SMOKE DETECTORS PER CODE.
5. QUIET FANS W/ LIGHT FIXTURES.
6. HINGE SWITCHES IN ALL CLOSETS U.N.O.
7. ALL FIXTURES ON DIMMERS.

PLUMBING NOTES:

- 1.

HVAC NOTES:

- 1.

TABLE R602.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER (% ^a , #, °)	SPACING OF FASTENERS
ROOF			
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d (25° x 0.113")	---
2	CEILING JOISTS TO PLATE, TOE NAIL	3-8d (25° x 0.113")	---
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAP OVER PARTITIONS, FACE NAIL	3-10d	---
4	COLLAR TIE RAFTER, FACE NAIL OR 1/2" x 30 GAGE RIDGE STRAP	3-10d (7° x 0.128")	---
5	RAFTER TO PLATE, TOE NAIL	2-14d (25° x 0.131")	---
6	ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS: TOE NAIL, FACE NAIL	4-14d (25° x 0.131") 3-14d (25° x 0.131")	---
WALL			
7	BUILT-UP CORNER STUDS	10d (7° x 0.128")	24" o.c.
8	BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	14d (25° x 0.131")	16" o.c. ALONG EACH EDGE
9	CONTINUED HEADER, TWO PIECES	14d (25° x 0.131")	16" o.c. ALONG EACH EDGE
10	CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d (25° x 0.113")	---
11	DOUBLE STUDS, FACE NAIL	10d (7° x 0.128")	24" o.c.
12	DOUBLE TOP PLATES, FACE NAIL	10d (7° x 0.128")	24" o.c.
13	DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF JOINTS, FACE NAIL IN LAPPED AREA	8-14d (25° x 0.131")	---
14	SOLE PLATE TO JOINT OR BLOCKING, FACE NAIL	14d (25° x 0.131")	16" o.c.
15	SOLE PLATE TO JOINT OR BLOCKING AT BRACED WALL PANELS	3-14d (25° x 0.131")	16" o.c.
16	STUD TO SOLE PLATE, TOE NAIL	3-8d (25° x 0.113") OR 2-14d (25° x 0.131")	---
17	TOP OR SOLE PLATE TO STUD, END NAIL	3-10d (7° x 0.128")	---
18	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	3-10d (7° x 0.128")	---
19	1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d (25° x 0.113") 2 STAPLES 1 1/2"	---
20	1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (25° x 0.113") 2 STAPLES 1 1/2"	---
21	1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (25° x 0.113") 2 STAPLES 1 1/2"	---
22	WIDER THAN 1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (25° x 0.113") 3 STAPLES 1 1/2"	---
FLOOR			
23	JOIST TO SILL OR GIRDER, TOE NAIL	3-8d (25° x 0.113")	---
24	1" x 4" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d (25° x 0.113") 2 STAPLES 1 1/2"	---
25	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-14d (25° x 0.131")	---
26	RIP JOIST TO TOP PLATE, TOE NAIL, (ROOF APPLICATIONS ALSO)	8d (25° x 0.113")	6" o.c.
27	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-14d (25° x 0.131")	---
28	BUILT-UP GIRDERS AND BEAMS, 2 INCH LUMBER LAYERS	10d (7° x 0.128")	---
29	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-14d (25° x 0.131")	AT EACH JOIST OR RAFTER

TABLE R602.3(1) - CONTINUED
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER (% ^a , #, °)	EDGES (INCHES) ^b	INTERMEDIATE SUPPORTS ^c , # (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING				
30	3/4"-5/8"	4d common (25° x 0.113") nail (subfloor w/8") 8d common (25° x 0.131") nail (roof)	6	12"e
31	3/4"-5/8"	4d common (25° x 0.113") nail (subfloor, wall) 8d common (25° x 0.131") nail (roof)	6	12"e
32	1/2"-1"	8d common (25° x 0.131")	6	12"e
33	1/2"-1"	10d common (7° x 0.148") nail or 8d common (25° x 0.131") deformed nail	6	12
OTHER WALL SHEATHING^d				
34	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1/2" galvanized roofing nail, 3/4" crown or 1" crown staple 14ga, 1/2" long	3	6
35	3/8" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1/2" galvanized roofing nail, 3/4" crown or 1" crown staple 14ga, 1/2" long	3	6
36	1/2" GYPSUM SHEATHING ^e	1/2" galvanized roofing nail, staple galvanized, 1/2" long, 1/2" crown, Type W or 3	7	7
37	1/2" GYPSUM SHEATHING ^e	1/2" galvanized roofing nail, staple galvanized, 1/2" long, 1/2" crown, Type W or 3	7	7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING				
38	3/4" AND LESS	4d deformed (25° x 0.120") nail or 8d common (25° x 0.131") nail	6	12
39	3/4"-1"	8d common (25° x 0.131") nail or 8d deformed (25° x 0.120") nail	6	12
40	1/2"-1"	10d common (7° x 0.148") nail or 8d deformed (25° x 0.120") nail	6	12

- ^a - All nails are smooth-common, box or deformed shank except where otherwise stated. Nails used for framing and sheathing connections have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inches or less.
- ^b - Staples are 14 ga. wire and have minimum 1/2 inch on diameter crown width.
- ^c - Nails shall be spaced at not more than 6 inches on center at all supports where span is 48 inches or greater.
- ^d - Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
- ^e - Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- ^f - For regions having a basic wind speed of 110mph or greater, 8d deformed (25° x 0.120") nail shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end wall, if mean roof height is more than 25 feet, up to 35 feet maximum.
- ^g - For regions having a basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing.
- ^h - Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
- ⁱ - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeter only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

LINE TYPE KEY:
 NEW WALL [hatched]
 EXIST. WALL [dotted]
 ABOVE LINE [dash-dot]
 FDN. WALL [cross-hatched]
 DEMO WALL [square with X]

TABLE R602.10.4.1
BRACING METHODS

METHOD	MATERIAL	MINIMUM THICKNESS	CONNECTION CRITERIA
CS-WVP	WOOD STRUCTURAL PANEL	3/4"	6d common (25° x 0.113") nails at 6" spacing (panel edges) and at 12" spacing (intermediate supports) or 14ga. x 1 1/2" staples at 2" spacing (panel edges) and 6" spacing (intermediate supports). See Method CS-WVP.
CS-G	WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS AND SUPPORTING ROOF LOAD ONLY ^{a,b}	3/4"	See Method CS-WVP.
CS-PF	CONTINUOUS PORTAL FRAME	See Section R602.10.4.1.1	See Section R602.10.4.1.1

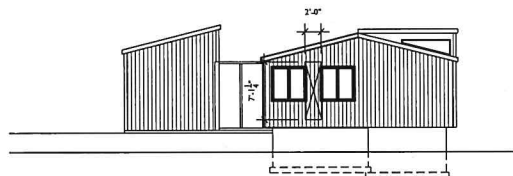
- ^a - Applies to one wall of a garage only.
- ^b - Roof covering dead load shall be 2 plf or less.

TABLE N102.4.1.1
AIR BARRIER AND INSULATION INSPECTION

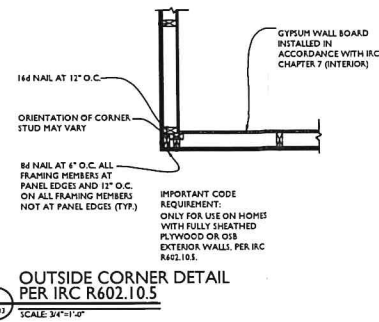
COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED. AIR-PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL.
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED. ATTIC ACCESS (EXCEPT UNVENTED ARMS), KNEE WALL DOOR, OR DROP DOWN STAIR IS SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED. JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED.
WINDOWS AND DOORS	SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING IS SEALED. RHP JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER.
RIP JOISTS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF FLOOR.
FLOORS (including above garage and cantilevered floors)	INSULATION IS PERMANENTLY ATTACHED TO WALLS. EXPOSED EARTH IN UNVENTED CRAWLSPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
CRAWLSPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS. EXPOSED EARTH IN UNVENTED CRAWLSPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT. OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION.
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIRTIGHT, IC RATED AND SEALED TO DRYWALL. EXCEPTION - FIXTURES IN CONDITIONED SPACE.
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND RIPPED. BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING. OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ELECTRICAL/PHONE BOX ON EXTERIOR WALL	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED TYPE BOXES ARE INSTALLED.
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS.
HVAC REGISTER BOOT	HVAC REGISTER BOOT THAT PENETRATES BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER.

PRESCRIPTIVE COMPONENT REQUIREMENTS - METHOD 1

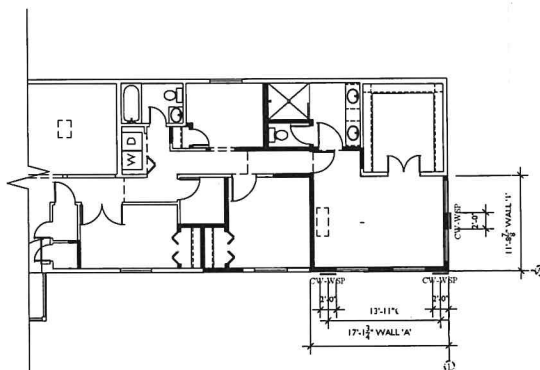
- BASED ON R-VALUES OR U-FACTORS
- 1. THE EXACT LOCATION OF ALL OF THE BUILDING THERMAL ENVELOPE SHALL BE MARKED OUT ON THE PLANS, DETAILS, AND CROSS-SECTIONS.
- 2. PROVIDE ALL INSULATION R-VALUES OR U-FACTORS, MATERIAL AND LOCATIONS TO BE INSTALLED (WALLS, CEILINGS, CANTILEVER FLOORS, FLOORS OVER GARAGE, CRAWL SPACE, BASEMENT WALLS, ETC.) PER TABLES 402.1.1 OR 402.1.3 OR 402.1.4 FOR STEEL-FRAMED CONSTRUCTION.
- 3. PROVIDE ALL PENETRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR PER TABLE 402.1.1 (SCHEDULE SUPPLIED BY DESIGNER).
- 4. INDICATE HOW ALL AREAS LISTED IN SECTION 402.4.2 (TABLE) WILL BE PROTECTED AGAINST AIR LEAKAGE.
- 5. INDICATE IF CRAWLSPACE(S) ARE CONDITIONED OR VENTED. MUST HAVE VAPOR BARRIER IF CONDITIONED.
- 6. INDICATE DUCT INSULATION R-VALUES, MINIMUM R-4, 8 IN ATTIC.
- 7. INDICATE DUCT SEALING METHODS PER IRC M1401.1
- 8. INDICATE LOCATION OF HVAC EQUIPMENT ON PLANS (INSIDE OR OUTSIDE THE ENVELOPE)



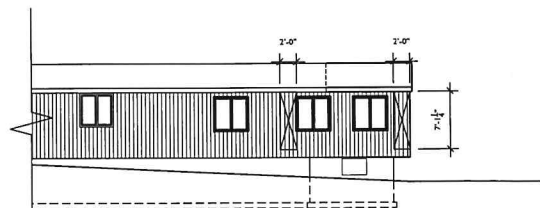
LATERAL BRACING BACK ELEVATION
SCALE: 1/8"=1'-0"



OUTSIDE CORNER DETAIL PER IRC R602.10.5
SCALE: 3/4"=1'-0"



LATERAL BRACING PLAN
SCALE: 1/8"=1'-0"



LATERAL BRACING RIGHT ELEVATION
SCALE: 1/8"=1'-0"



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PROJECT TITLE
THE HUZA RESIDENCE
6159 Agail Place
Columbia, MD 21045

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 18-398

DATE 12/16/2019

SCALE AS NOTED

DRAWING TITLE

LATERAL BRAC. NOTES, PLANS + ELEVATIONS

SHEET NUMBER

A-103



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PROJECT TITLE
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 Columbia, MD 21045

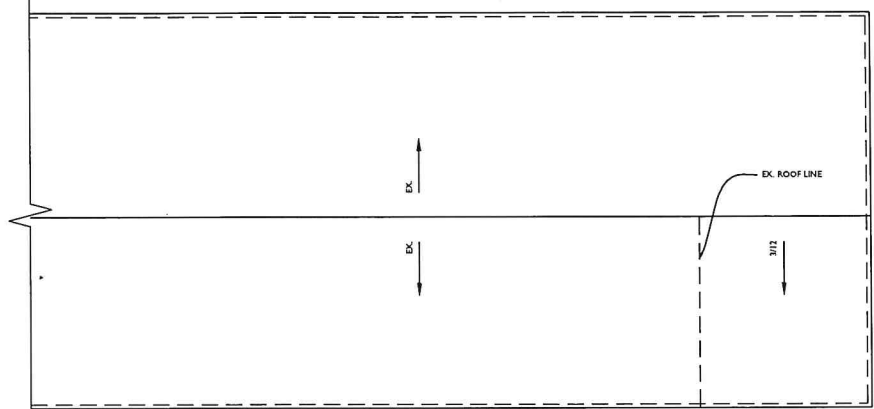
REVISIONS

SYMBOL	DATE	ISSUED FOR

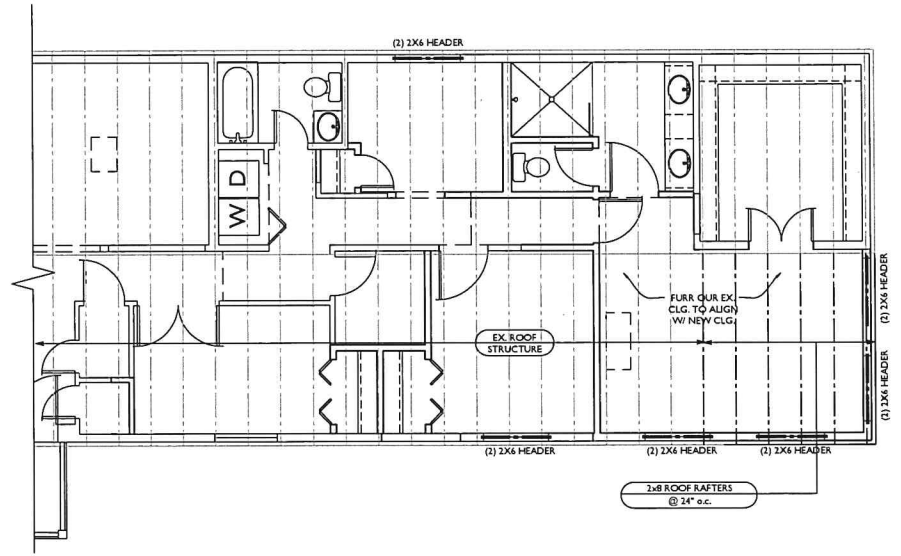
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 DATE: 12/16/2019
 SCALE: AS NOTED

DRAWING TITLE
ROOF, FRAMING, + ELEC. PLANS

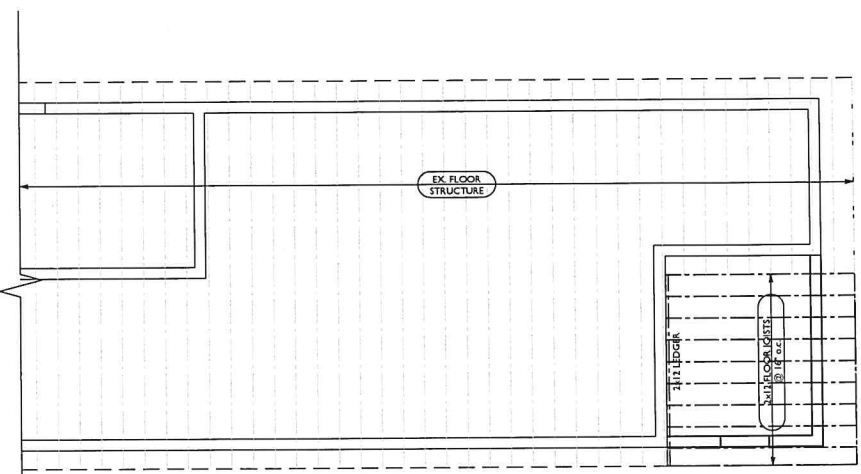
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A-102



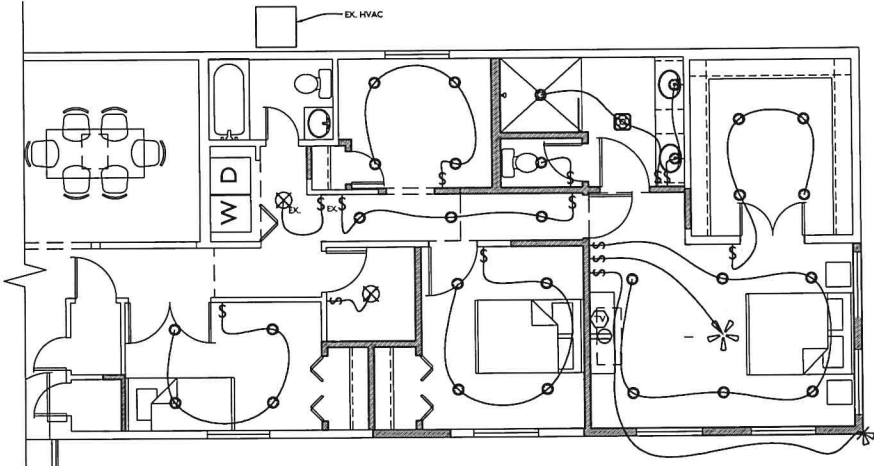
1 ROOF PLAN
 SCALE: 1/4"=1'-0"



2 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"



3 FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"



4 ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"

LINE TYPE KEY:

NEW WALL	
EXIST. WALL	
ABOVE LINE	
FDN. WALL	
DEMO WALL	

ELECTRICAL LEGEND

	SWITCH
	OUTLET
	GR OUTLET
	RECESSED LED CLG. LIGHT
	LED WALL MOUNT FIXTURE
	LED CLG. FIXTURE
	EXHAUST FAN WITH HUMIDISTAT
	CLG. FAN W/ LIGHT
	CABLE TV
	HARDWIRED SMOKE DETECTOR W/ INTERNAL BATTERY & CARBON MONOXIDE DETECTOR (COMBINED UNIT)
	2-HEAD FLOOD
	HOSE BIB

- ELECTRICAL NOTES:
- OUTLETS PER CODE UNLESS OTHERWISE NOTED @ 18"-1'-0" ABOVE COUNTERTOPS.
 - MOUNT LIGHT SWITCHES @ 42" H. MAX. ROCKER-TYPE
 - SWITCHES PROVIDE DIMMERS FOR ALL RECEASED LIGHTS.
 - PROVIDE HARD-WIRED SMOKE DETECTORS PER CODE
 - QUIET FANS W/ LIGHT FIXTURES
 - HINGE SWITCHES IN ALL CLOSETS U.N.O
 - ALL FIXTURES ON DIMMERS

- PLUMBING NOTES:
-
- HVAC NOTES:
-



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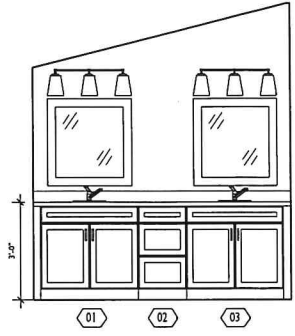
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SYMBOL	DATE	ISSUED FOR

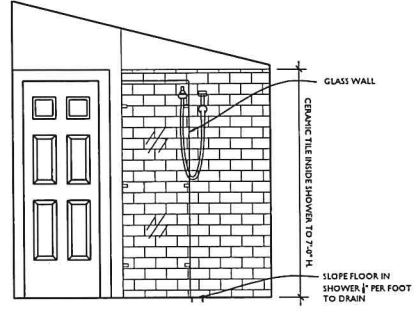
PROJECT NUMBER 18-398
 DATE 12/16/2019
 SCALE AS NOTED

DRAWING TITLE
INTERIOR ELEVATIONS + BLDG. SECT. B

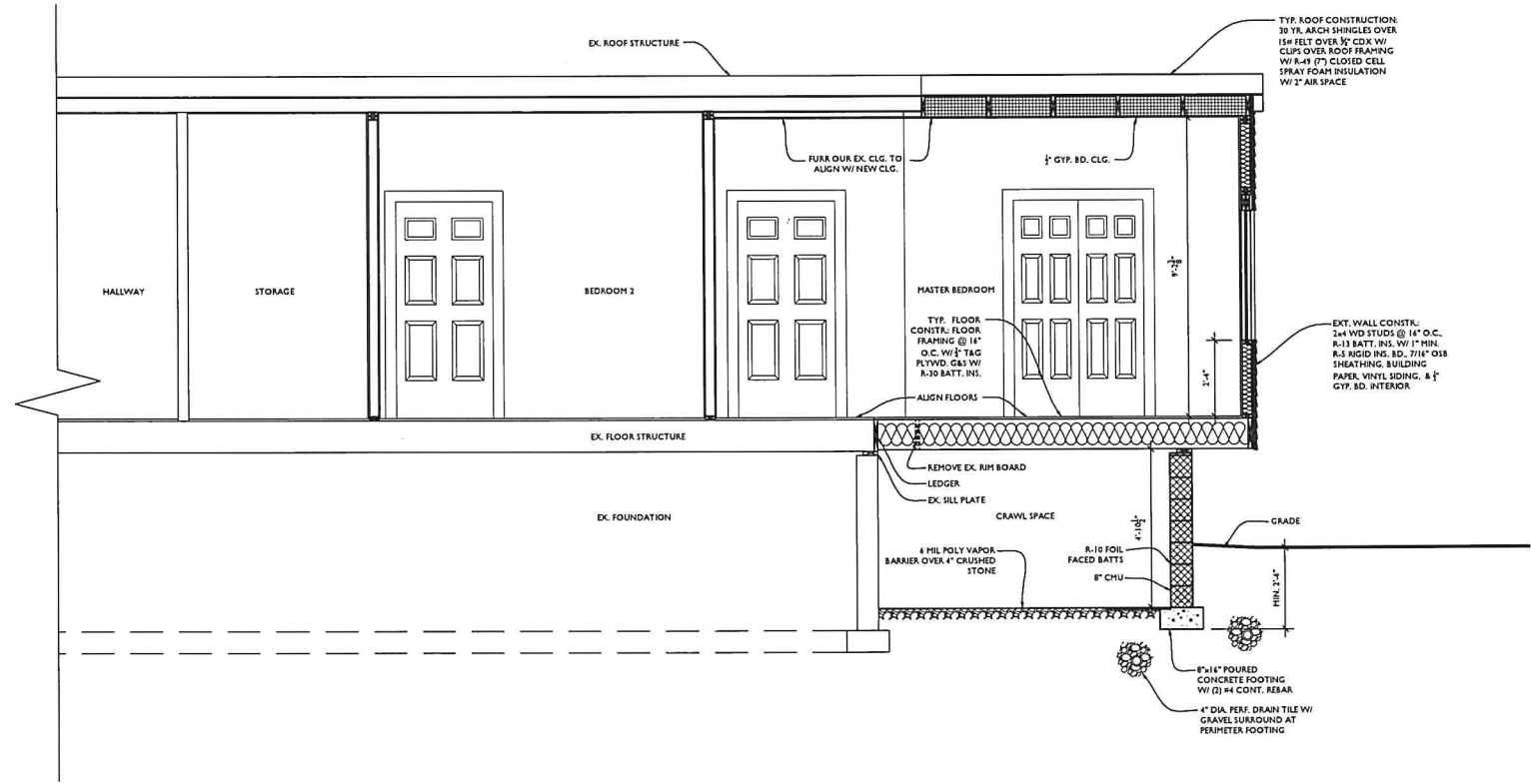
SHEET NUMBER
A-201



1 MASTER BATHROOM INT. ELEVATION A
 SCALE: 1/2"=1'-0"



2 MASTER BATHROOM INT. ELEVATION B
 SCALE: 1/2"=1'-0"



3 BUILDING SECTION B
 SCALE: 1/2"=1'-0"

TYP. ROOF CONSTRUCTION:
 30 YR. ARCH SHINGLES OVER
 15# FELT OVER 2" CDX W/ CLIPS OVER ROOF FRAMING
 W/ R-49 (7) CLOSED CELL SPRAY FOAM INSULATION
 W/ 2" AIR SPACE

EXT. WALL CONSTR:
 2x4 WD STUDS @ 16" O.C.
 R-13 BATT. INS. W/ 1" MIN. R-3 RIGID INS. BD. 7/16" OSB SHEATHING BUILDING PAPER VINYL SIDING, & 1/2" GYP. BD. INTERIOR

TYP. FLOOR CONSTR:
 FLOOR FRAMING @ 14" O.C. W/ 2" TAG RTW/2. GAS W/ R-30 BATT. INS.

8" DIA. PERFORATED CONCRETE FOOTING W/ (2) #4 CONT. REBAR
 4" DIA. PERFORATED DRAIN TILE W/ GRAVEL SURROUND AT PERIMETER FOOTING

REMOVE EX. RIM BOARD
 LEDGER
 EX. SILL PLATE
 CRAWL SPACE
 6 MIL POLY VAPOR BARRIER OVER 4" CRUSHED STONE
 R-10 FOIL FACED BATT
 8" CHU

FURR OUR EX. CLG TO ALIGN W/ NEW CLG.

1/2" GYP. BD. CLG.

EX. ROOF STRUCTURE

EX. FLOOR STRUCTURE

EX. FOUNDATION

GRADE

MIN. 2'-4"

4'-0"

8'-0"

3'-0"

2'-0"

1'-0"

0'-0"

0'-0"

0'-0"

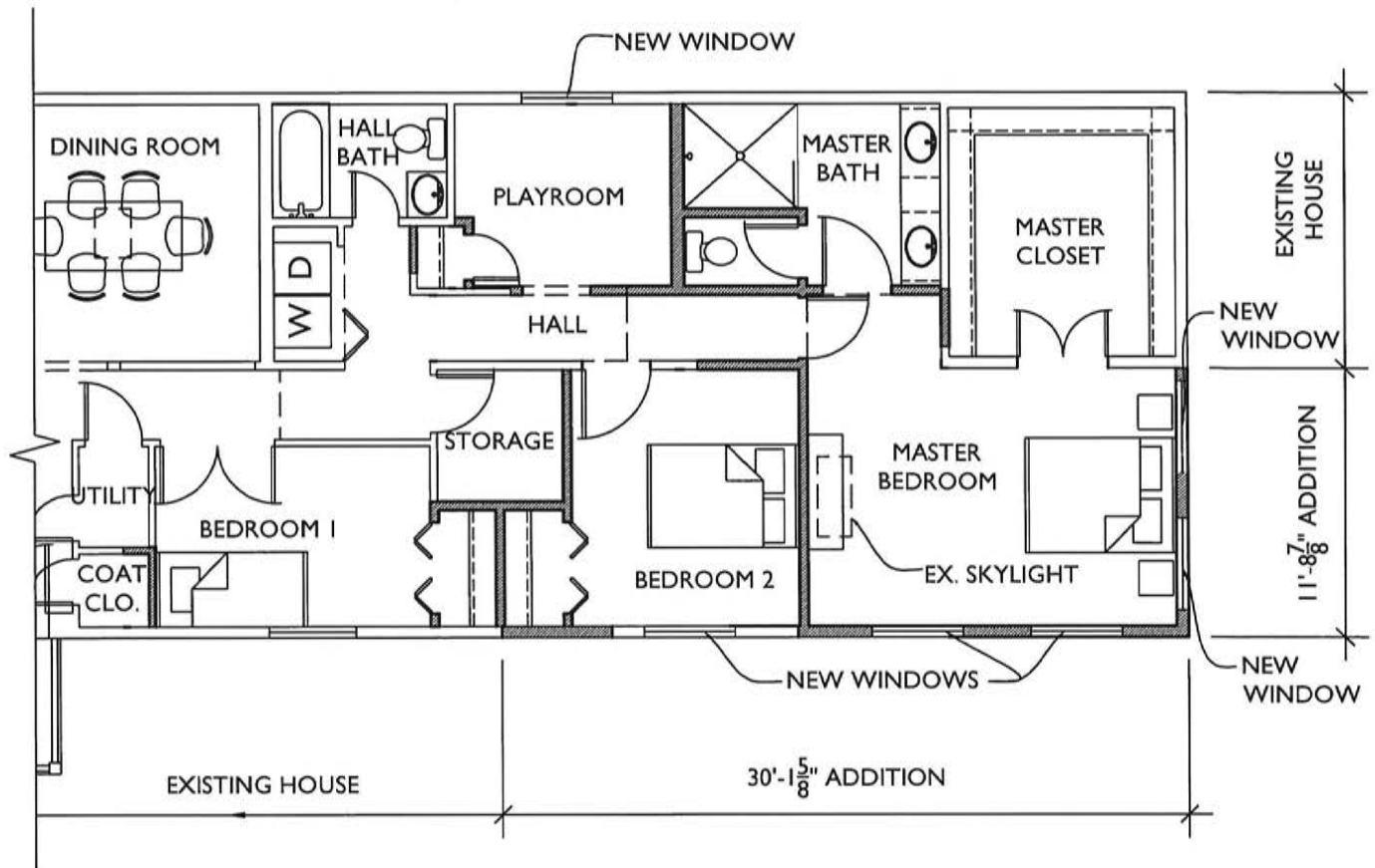
0'-0"

0'-0"

0'-0"

0'-0"

0'-0"



 **FLOOR PLAN**
SCALE: 1/8"=1'



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HOA DRAWINGS

SCALE: AS NOTED DATE: 01-02-2020 PROJECT: 18-098



applications oaklandmills.org

From: Christopher Huza <christopher.huza@gmail.com>
Sent: Thursday, January 02, 2020 1:40 PM
To: applications oaklandmills.org
Subject: Re: RAC application for 6159 Agail Place -additional docs

Carrie,

Certainly, I confirm all new exterior materials will match the existing materials. Please find attached an existing photo.