



TECHNICAL STAFF REPORT

Hanson Property, Deck Modification

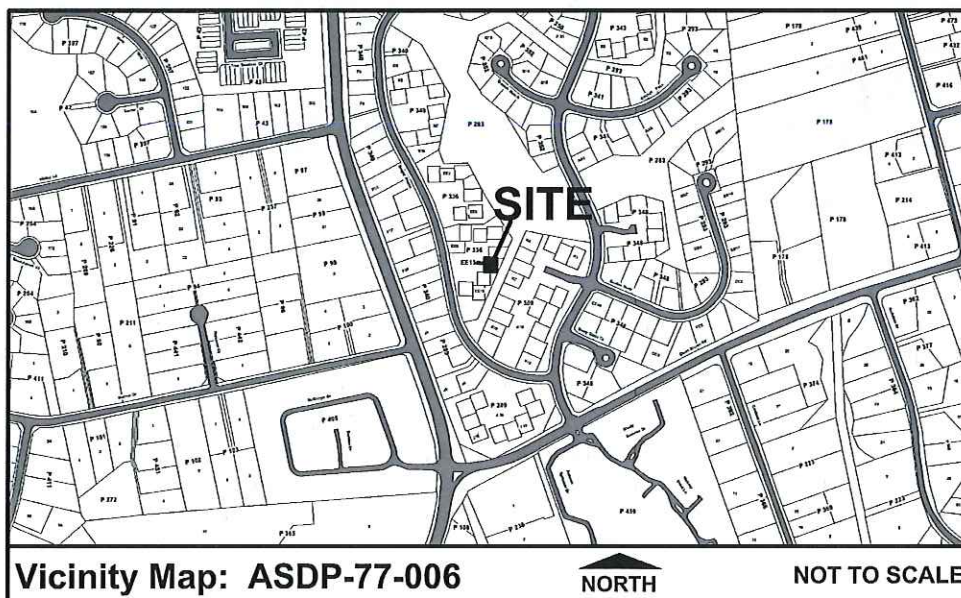
Planning Board Meeting of **August 20, 2015**

File No. / Petitioner: ASDP-77-006, Matthew Hanson

Subject: ASDP-77-006, Hanson Deck, 6353 Bright Plume, Village of Hickory Ridge, Section 1, Area 1, Lot EE-13.

Request: The request is for the approval of an amendment to a Site Development Plan (SDP) for a setback adjustment from 7.5 feet to 4.0 feet and to exceed the lot coverage from 30% to 62%. The request is necessary for the expansion of a deck and screen porch attached to a private dwelling in accordance with Section 125.0.G.4. of the Zoning Regulations. The property is currently developed and is zoned New Town- Single Family Medium Density (NT-SFMD) in accordance with the Final Development Plan (FDP) 100-A-II.

Location: The subject property is located on the eastern side of Bright Plume about 500 feet north from the intersection of Sunny Spring. The property contains approximately 3,292 square feet of land and is identified as Lot EE-13 in the Village of Hickory Ridge, Section 1, Area 1 located on Tax Map No. 35, Grid No. 11 in the Fifth Election District of Howard County, Maryland.



DPZ Recommendation: The Department of Planning and Zoning recommends **approval** of this amendment of Site Development Plan, SDP-77-006, subject to compliance with any conditions imposed by the Planning Board.

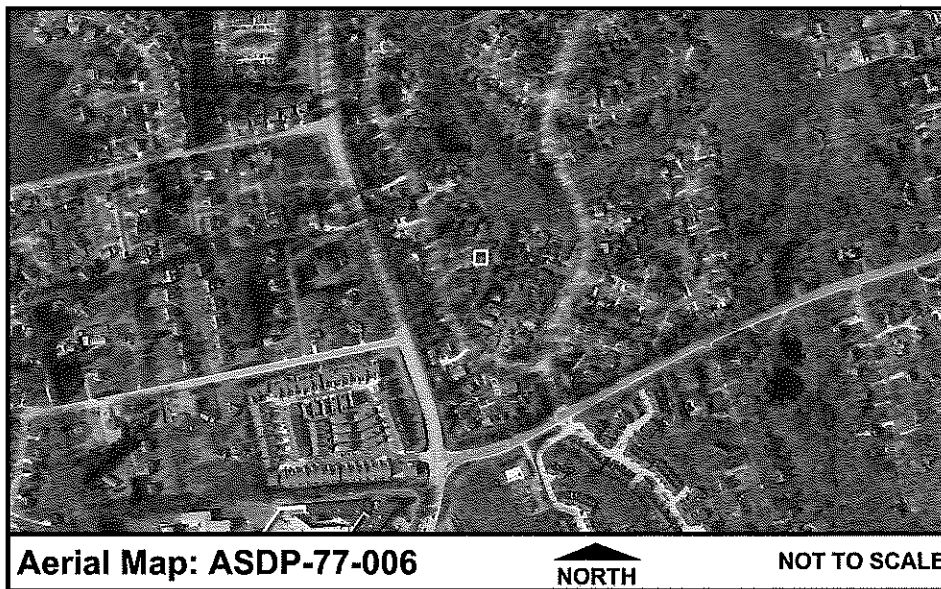
Vicinal Properties:

To the North: A private residence borders the site to the north. The adjoining property is Lot EE-12, Parcel 336, on Tax Map 35, Grid 11. The property address is 6349 Bright Plume, Columbia, MD 21044. The adjoining property contains a detached single family house with a detached carport. The proposed deck and porch will not be visible from this residence as it faces south from the property,

To the East: Open Space Lot EE-17 owned by the Columbia Association borders the subject property to the East. Immediately adjacent to the site is an asphalt pedestrian pathway through a wooded area to facilitate pedestrian travel through the Village of Hickory Ridge. The amended deck and porch will be visible from the pathway leading up from Bright Plume.

To the South: Immediate to the south of the site is a private residence. The adjoining property is Lot EE-14, Parcel 336, TM 35, Grid 11. The property address is 6357 Bright Plume, Columbia, MD 21044. The proposed deck and porch additions will be visible from this property as they are immediately adjacent.

To the West: Bright Plume is located immediately to the west of the site. Opposite Bright Plume are additional single family residences within the Village of Hickory Ridge.



General Comments:

A. Regulatory Compliance: This project is subject to compliance with Section 125.0.G.4 of the Zoning Regulations (effective October 6, 2013), the development criteria listed in Final Development Plan 100-A-II, the amended Fifth Edition of the Howard County Subdivision and Land Development Regulations (the October 7, 2007 Edition), the Howard County Design Manual, and The Village of Hickory Ridge Design Architectural Guidelines. The development criteria regarding the setbacks per FDP-100-A-II states that no structure shall be located within 7.5 feet of any property line, except, however structures may be located outside setback lines if expressly approved by the Howard County Planning Board.

B. DPZ Plan History:

- **FDP 100-A-II**, Final Development Plan and Criteria for the subject property was recorded on March 9, 1984. The subject property is part of Phase 100-A-II in the New Town Zoning District as part of the Village of Hickory Ridge Section 1 Area 1. The FDP is recorded as Plat 3054A-649 among the Land Records of Howard County, MD.

- **F-72-097c**, A Resubdivision Plat that the current subject property was identified as Lot EE-13. The individual property line boundaries are illustrated on F-72-097c recorded in Plat Book 23, Folio 81 on September 1, 1972.
- **SDP-77-006**, Site development plan that the current subject property was previously developed under, in which the existing single family dwelling was constructed and parking areas were established per the development criteria set forth in the FDP.

C. Proposed Development Plan/Site Improvements: The ASDP proposes the construction of a new deck and screened porch to run parallel to the existing shed in place of the existing deck. The proposed deck and porch area will be roughly 25 feet by 15 feet, with an area of approximately 375 square feet. The enclosed porch will be a 15 foot x 18 foot enclosure. The proposed design has been reviewed and approved by the Village of Hickory Ridge Architecture Review Committee on October 24, 2014. The ASDP is required due to the minor encroachment into the side property line setback. The proposed deck will encroach 3.5 feet into the setback in order to bring it into alignment with the existing attached shed on the southern side of the carport. The petitioner is requesting relief from the Planning Board for a reduction from the 7.5 foot side setback to 4 feet to bring the deck in line with the existing carport. The petitioner is also requesting the Planning Board allow an increase of 6% to the structural lot coverage which will bring the total coverage to 62%.

D. Site Area and Coverage Information Chart:

Area Per Lot Requirements:

Lot Area	3,292 Square Feet
Limit of Disturbed Area	390 Square Feet
Existing Dwelling	1,392 Square Feet (42% of Gross Lot Area)
Existing Car Port	220 Square Feet (7% of Gross lot Area)
Existing Shed	40 Square Feet (1% of Gross Lot Area)
Existing Deck	180 Square Feet (5% of Gross Lot Area)
Proposed Deck	390 Square Feet (12% of Gross Lot Area)
Existing Lot Coverage	56% (1832 Square Feet)
Proposed Lot Coverage	62% (2042 Square Feet)

E. Existing Site Conditions:

- **Access, Structures, and Parking Area:** Currently, the subject area contains the existing single family residence, car port, existing deck, and shed. Access is provided to the lot by a private shared driveway easement from Bright Plume.
- **Environmental Characteristics:**
 - (i) **Forest Cover:** There is no forest on site.
 - (ii) **Topography:** The site is mostly flat with lawn areas surrounding the house with mature trees, shrubs, and lightly landscaped areas surrounding the house.
 - (iii) **Wetlands, Streams and 100 Year Flood Plain:** There are no steep slopes, wetlands, streams or 100-year floodplain on the lot.

F. Final Development Plan Analysis:

This Amended Site Development Plan has been evaluated for compliance with FDP-100-A-II. Where the Final Development Plan is silent, compliance with the Subdivision and Land Development Regulations, the Zoning Regulations, and other applicable regulations are required. See attachments for the proposed layout of the site. Below is a summary of the major FDP criteria used in this evaluation:

1. **Permitted Land Uses:** In accordance with FDP-100-A-II, the proposed project is an addition to the existing dwelling and is an expansion of an existing deck. There are no provisions prohibiting the proposed deck and porch provided that the additions are in accordance with the established FDP criteria and approved by the Howard County Planning Board.
2. **Stormwater Management:** Stormwater Management (SWM) for this site was previously addressed and completed. The proposed deck and screen porch will not have any impact on the approved Stormwater Management for this lot.
3. **Forest Conservation:** The property is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation because the property is zoned NT which had preliminary development plan approval and was 50% or more developed prior to 12/31/92 per Section 16.1202(b)(1)(iv).
4. **Environmental Concerns:** This site has many mature trees located on the property immediately surrounding the house. No wetlands, wetland buffers, streams, steep slopes, Forest Conservation Easement Areas or 100-year floodplain exist on site. This site has been previously graded. The proposed deck and screen porch will not disturb any of the substantial vegetation.
5. **Setback Requirements:** This project does not meet the applicable setbacks as required per FDP-100-A-II. Per FDP-100-A-II the term structure includes but is not limited to the following terms: cornices, eaves, roof or building overhangs, chimneys, porches, decks (open or closed), bay windows, privacy walls, dwelling and accessory buildings, and all parts of any buildings. The proposed deck will be in line with the existing shed and will encroach into the 7.5 foot setback by 3.5 feet. However, structures may be constructed within the setback areas if approved by the Howard County Planning Board.
6. **Height Requirement:** In accordance with FDP-100-A-II, no structure shall be constructed within the FDP area that exceeds 34 feet in height from the highest ground elevation. The proposed deck and porch for this Amended Site Development Plan will have a maximum height of 20'-0" which is in compliance with the height requirements per FDP-100-A-II.
7. **Coverage Requirements:** Per FDP-100-A-II, building coverage (and the existence of other major structures) cannot exceed 30% of any parcel (lot) devoted to single family residential use. No coverage limitation is imposed upon areas used for shrubbery, sidewalks, paved parking areas and other similar improvements. The existing lot coverage presently exceeds the 30% maximum lot coverage at 56% for existing structures and is proposed under the Amended Site Development Plan to increase to 62% for the new deck and screen porch.

Evaluation of Requested FDP Criteria Adjustment:

The requested adjustment was reviewed according to the criteria set forth in Section 125.0.G.4.d(1) and Section 125.0.G.4.d(2) of the Howard County Zoning Regulations.

- 1) **Not Detrimental to the Public Interest:** The adjustment will not alter the character of the neighborhood or area in which the property is located, will not impair the appropriate use or development of adjacent property, and will not be detrimental to the public welfare. The adjustment is needed due to practical difficulties with the confines of the current structure and property. The extension of the deck and addition of the screen porch will create an improved usable outdoor space than would be allowed by strict compliance with the development criteria. The architectural design of the deck and porch is in accordance with the guidelines set forth by the Village of Hickory Ridge and will be in conformance with existing architecture so as not to alter the neighborhood characteristics and will be compatible with surrounding lots. The improvements proposed do not extend further into the setback than already established with the existing structures. The proposed additions will not exceed the height, or impede the neighbors use in any way.
- 2) **Extraordinary Hardship and Practical Difficulties:** Extraordinary hardship and practical difficulties arise with compliance of the development criteria because of the lots' established size, shape, house placement,

and the overall design of the community. The use and enjoyment of the existing outdoor space is impractical due to the close proximity to the existing SWM pond. The standing body of water and surrounding natural areas serve to promote an abundance of insects and wildlife in the immediate area surrounding the property. The deck extension will allow a screened porch area to create a more usable outdoor space during warm weather months as well as functional use in inclement weather. The portion of open deck space will also serve for growing potted plants and vegetables and general outdoor use. The proposed deck extension will not infringe on the FDP in terms of utilities, environmental features, and general requirements. The proposed addition will stay within the confines of the existing house structure and in line with the existing carport and shed, to create a better design than would be allowed by strict compliance with the development criteria.

DPZ Recommendation: Based upon all of the above findings, the Department of Planning and Zoning recommends **approval** of this Amended Site Development Plan, ASDP-77-006, subject to compliance with any conditions imposed by the Planning Board.


Valdis Lazdins, Director
Department of Planning and Zoning

Please note that this file is available for public review at the Department of Planning and Zoning Public Service Counter, Monday-Friday, 8:00 am to 5:00 pm.

Staff Report Prepared by: Nicholas Haines
VL/NH/KS



For Office Use		
HR # <u>9025</u>	Date Rec'd <u>10-24-14</u>	Fast Track <input type="checkbox"/>
APPROVED		
Sec <u>1</u>	Area <u>1</u>	Lot <u>EE-13</u>

EXTERIOR ALTERATION APPLICATION

PLEASE DELIVER TO: Hickory Ridge Architectural Committee • 6175 Sunny Spring • Columbia, Maryland 21044
 Phone: 410 730-7327 • FAX: 410 992-5843 • E-Mail: info@hickoryridgevillage.org

CAUTION: EXTERIOR ALTERATIONS BEGUN WITHOUT PRIOR APPROVAL OF THE ARCHITECTURAL COMMITTEE ARE IN VIOLATION OF THE COVENANTS AND AT THE APPLICANT'S OWN RISK. THE ARCHITECTURAL GUIDELINES ARE AVAILABLE AT THE VILLAGE OFFICE.

NAME Matthew Hanson ADDRESS 6353 Bright Plume, Columbia MD 21044
 PHONE: (DAY) 443 812 4841 (EVENING) 443 812 4841 E-MAIL Matthew.s.hanson@gmail.com

(Check one in each group and list colors)

NEIGHBORHOOD	TYPE OF HOUSE:	DESIGN:	CURRENT COLOR:
<input type="checkbox"/> Clary's Forest	<input checked="" type="checkbox"/> Single Family, detached	<input checked="" type="checkbox"/> Wood	House <u>Brown</u>
<input type="checkbox"/> Clemens Crossing	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Aluminum	Trim <u>Brown</u>
<input checked="" type="checkbox"/> Hawthorn	<input type="checkbox"/> Apartment or Condo.	<input type="checkbox"/> Vinyl	Roof <u>Brown</u>
<input type="checkbox"/> Sebring		<input type="checkbox"/> Brick	Shutter <u>n/a</u>
			Door <u>Brown</u>
			Other _____

All exterior alterations must be installed solely on the applicant's property. If, at any time, it is determined that any portion of a structure is placed on CA property, applicant disclaims for himself/herself and his/her successors any interest in CA's property, agrees to indemnify CA against any costs it incurs to protect its property rights, and agrees to remove the structure from CA's property.

Processing of this application will normally take 30 days, although the Covenants allow up to 60 days for review. I understand that members of the Resident Architectural Committee, the Architectural Committee and/or the Covenant Advisor are permitted by the covenants to enter my property to review the plans for any proposed alterations or in home business and this does not constitute trespass. Having read the instructions on the reverse side, I have completed the application form in good faith, and it accurately represents the exterior alteration I propose to make. I understand that any approval is contingent upon work being completed in a workmanlike manner within six months of beginning construction.

Owner's signature *Matthew Hanson* Date 10/20/2014

NOTE: If a change applies to a condominium or townhouse, you may need to seek approval from your condominium or townhouse community. It is the applicant's responsibility to ensure compliance with all guidelines and/or restrictions. Consult with your condominium/townhouse association board.

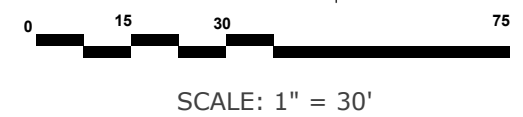
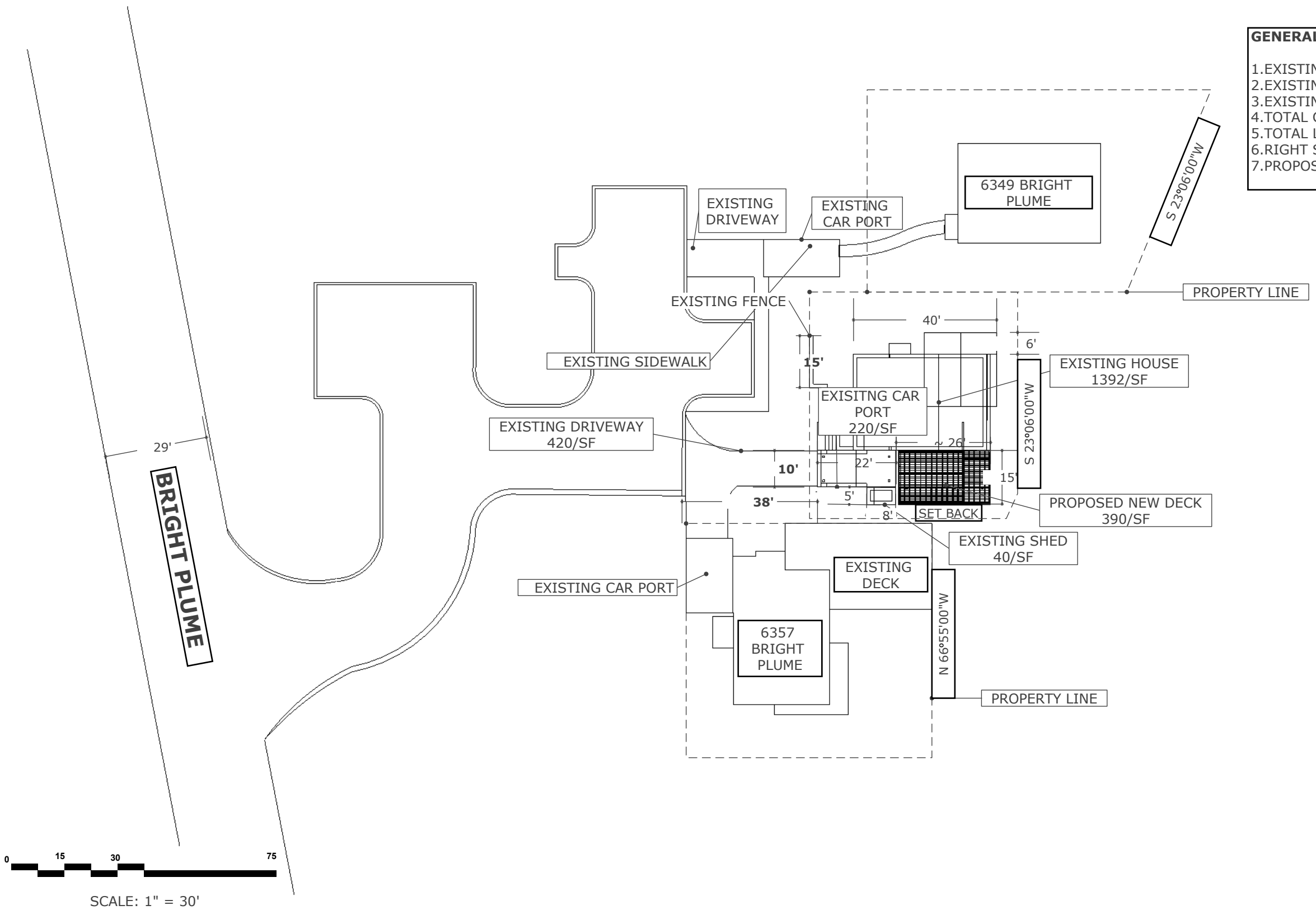
DESCRIPTION OF PROPOSED CHANGES:

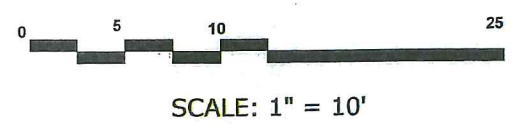
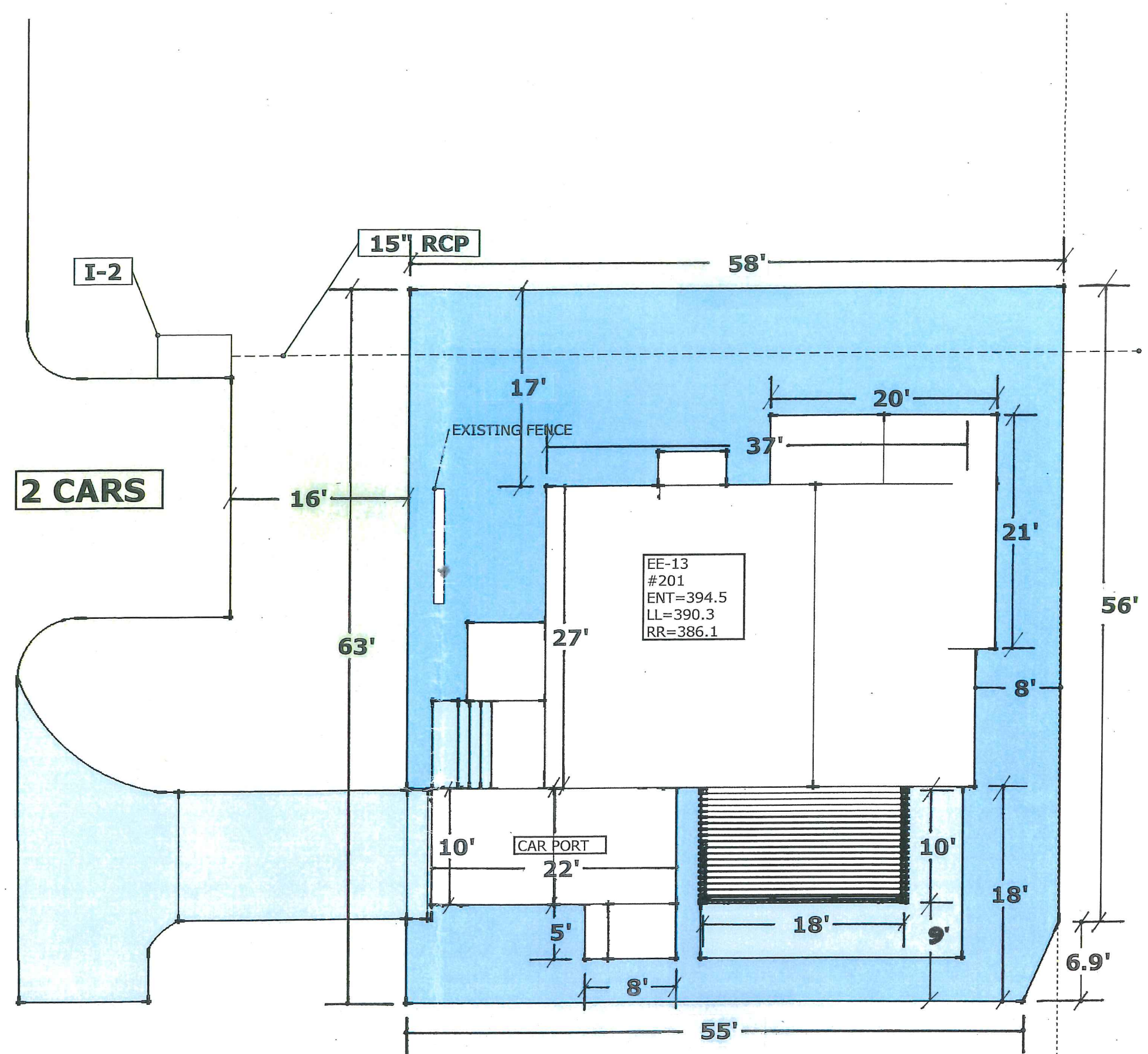
Furnish + Install a screen door added to existing deck area. All wood is to be Pressure Treated #2 lumber. Painted to match color of house + deck. Roofing to match existing 3-Tab Shingles.

If more space is needed, use an additional page.

APPLICATIONS SUBMITTED WITHOUT ALL REQUIRED INFORMATION WILL NOT BE PROCESSED AND WILL BE RETURNED TO THE PROPERTY OWNER(S) FOR COMPLETION.

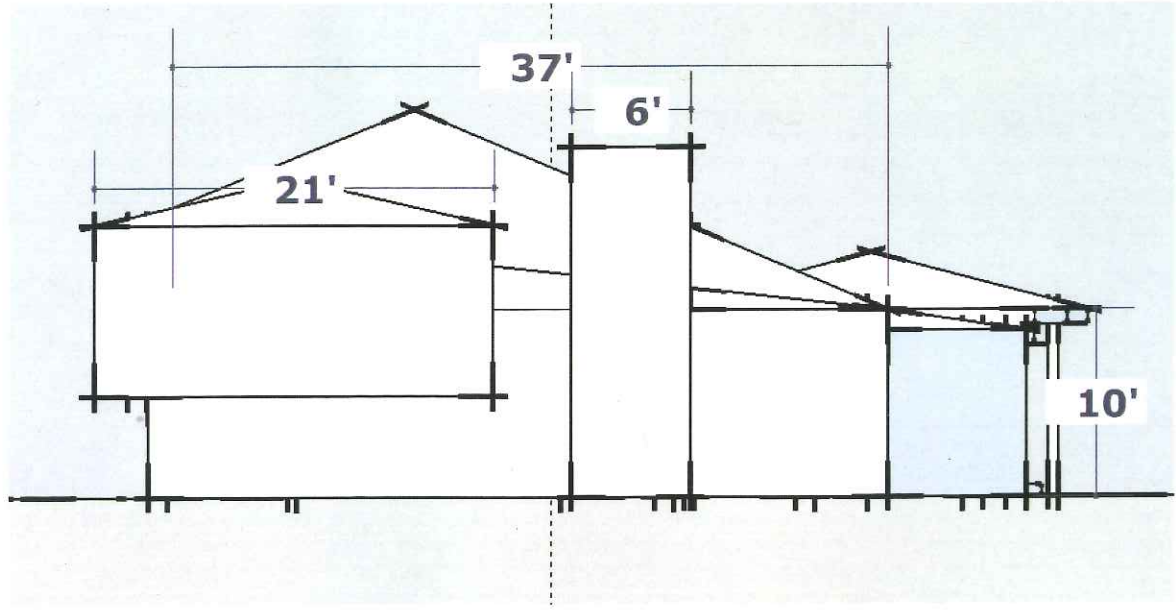
- GENERAL NOTES**
1. EXISTING RESIDENCE 1392/SF
 2. EXISTING SHED 40/SF
 3. EXISTING CAR PORT 220/SF
 4. TOTAL COVERED AREA 2002/SF
 5. TOTAL LOT AREA 3292/SF
 6. RIGHT SIDE SETBACK 5 FOOT
 7. PROPOSED LOT COVERAGE 60%







RIGHT ELEVATION

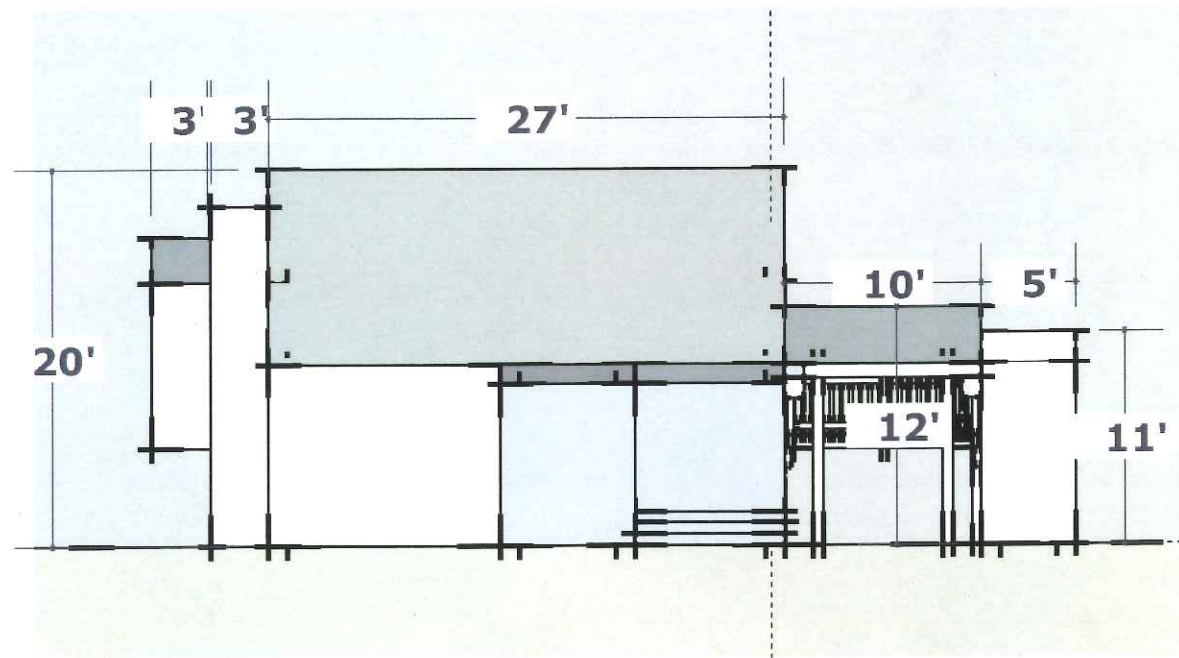


LEFT ELEVATION

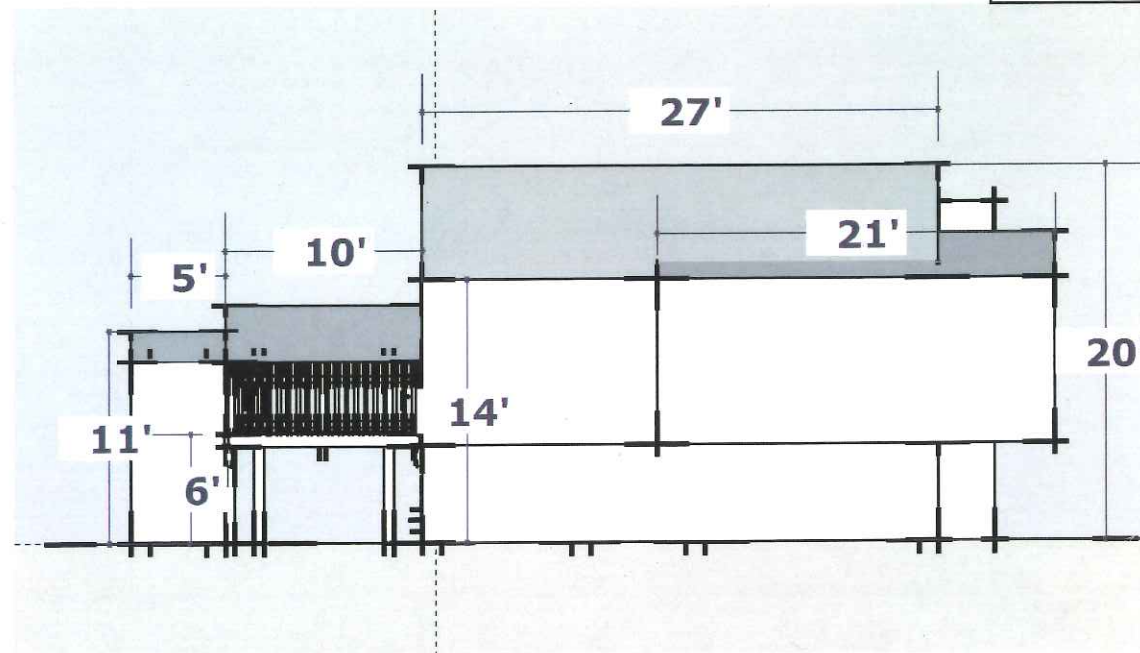


SCALE: 1" = 10'

WHEATON DOORS & WINDOWS



FRONT ELEVATION



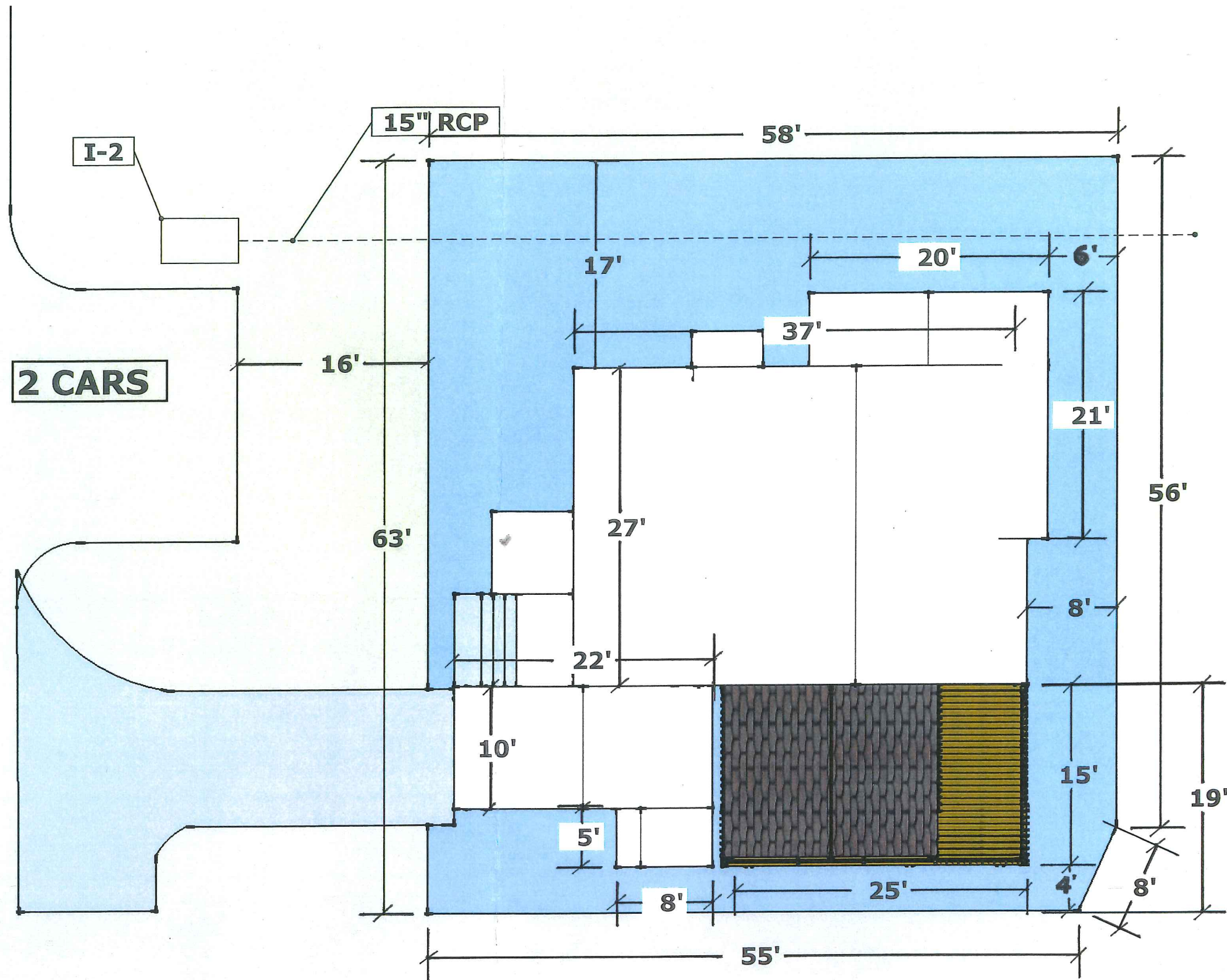
REAR ELEVATION



SCALE: 1" = 10'

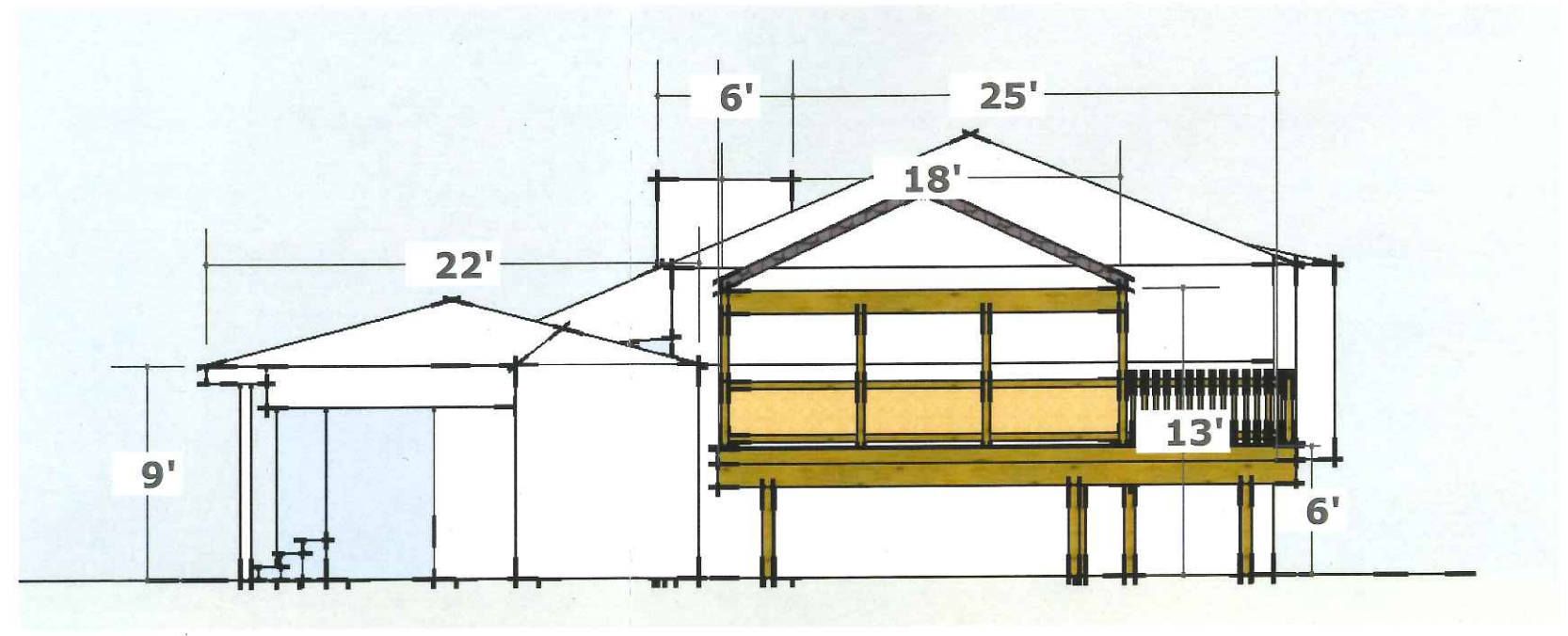


WHEATON DOORS & WINDOWS

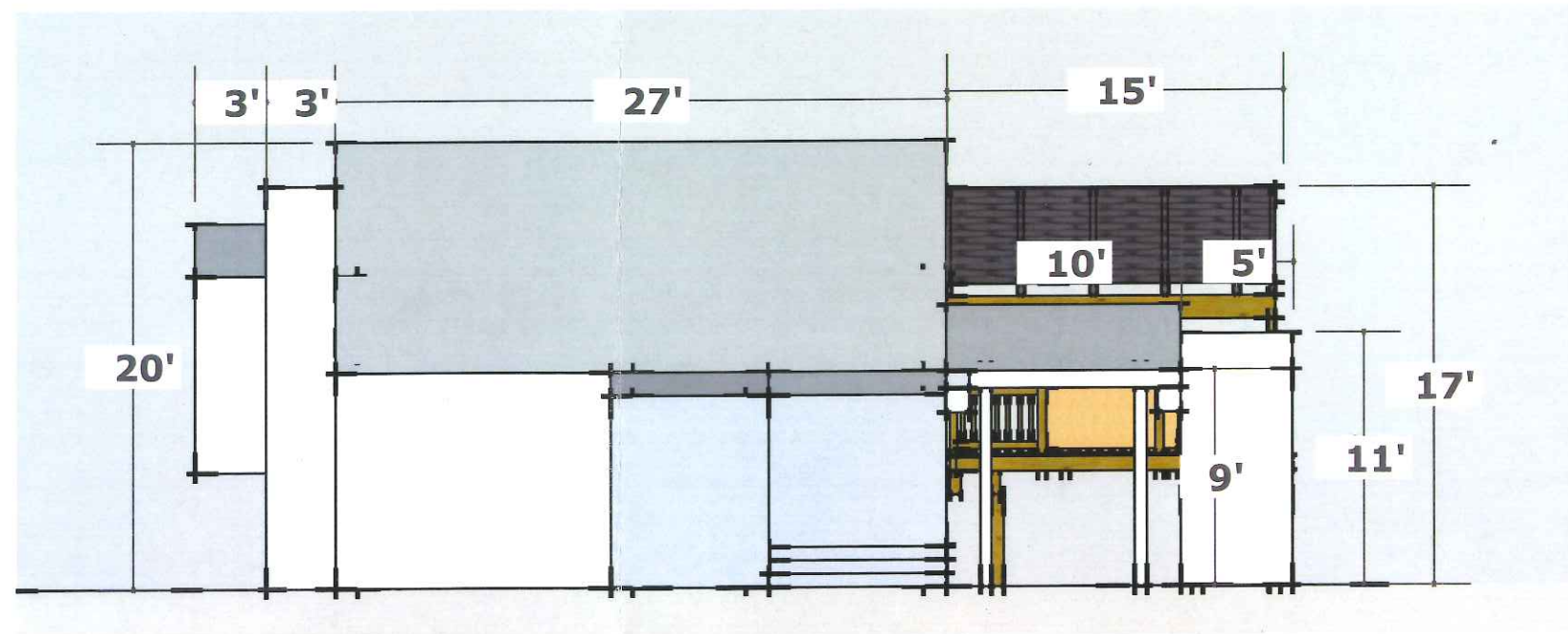


SCALE: 1" = 10'

WHEATON DOORS & WINDOWS



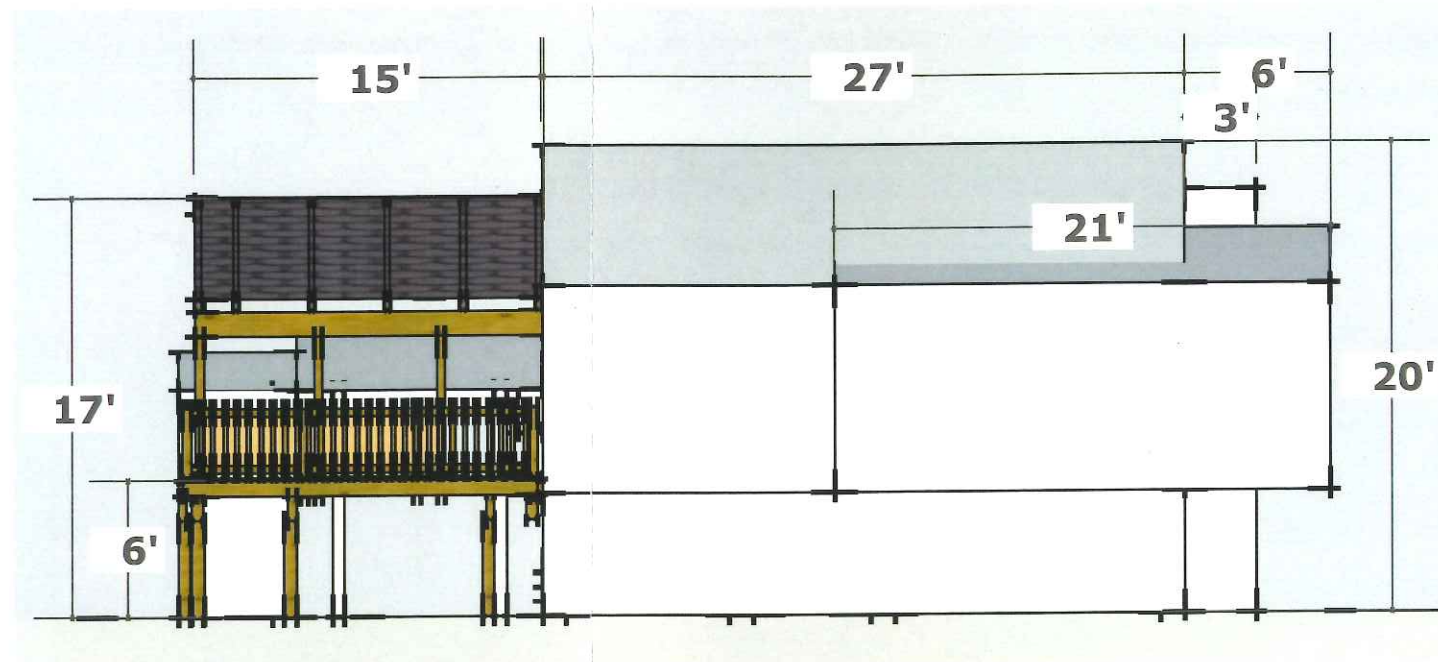
PROPOSED LEFT ELEVATION



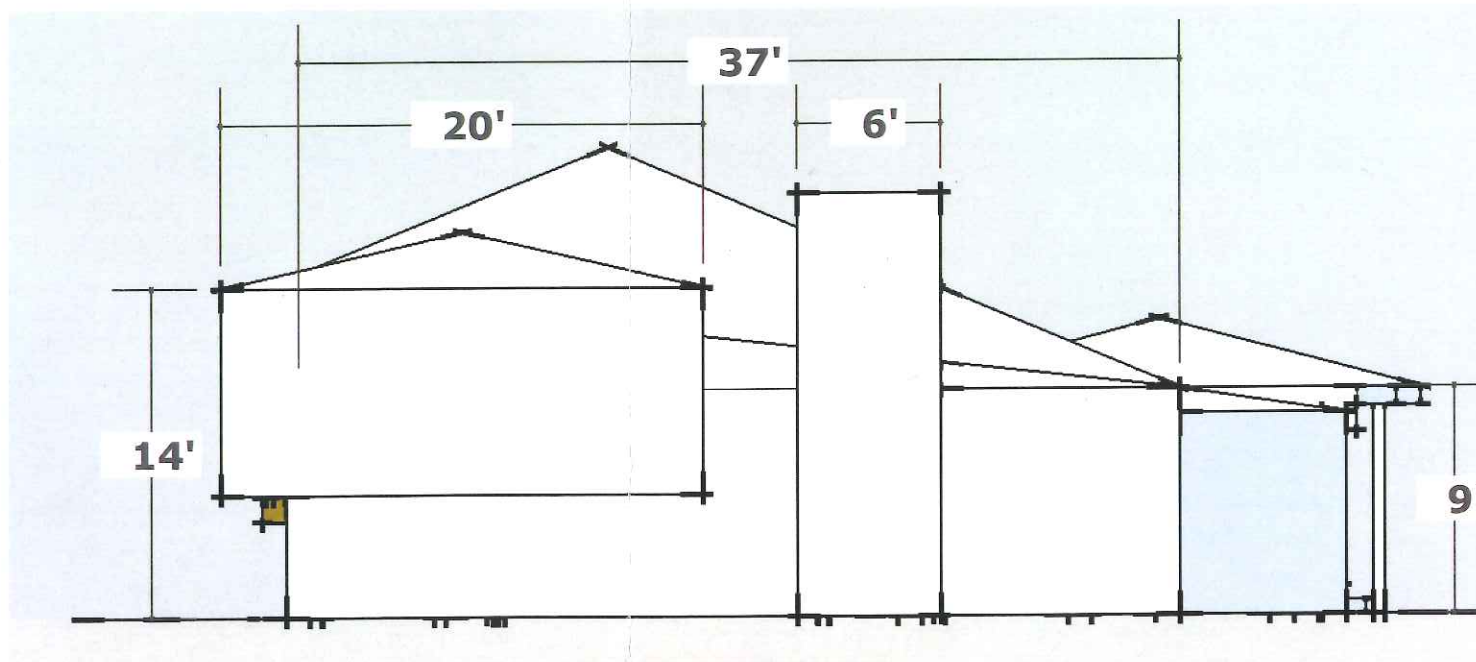
PROPOSED FRONT ELEVATION



SCALE: 1" = 10'



PROPOSED BACK ELEVATION



RIGHT ELEVATION



SCALE: 1" = 10'

CURVE DATA

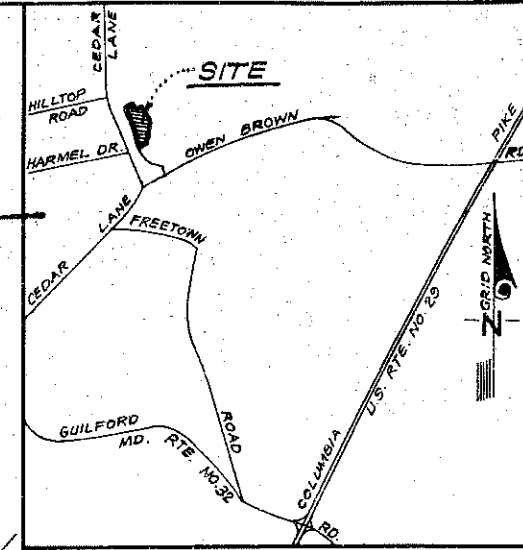
NOS.	RADIUS	Δ	ARC	TAN	CHORD	BEARING
1-2	360.00	12°18'03"	77.29	38.79	77.14	N16°50'01"W
3-4	1025.00	16°00'00"	322.01	162.34	320.69	N19°41'00"W

COLUMBIA

ALL COORDINATES ARE BASED ON THE MARYLAND STATE GRID SYSTEM

The undersigned, owner of Open Space Lot 2 shown on this plat, grants unto Howard County, Maryland, its successors and assigns, the right to lay, construct and maintain sewer house connections and appurtenances, in and through the specific easement areas shown hereon, to the end that the specific lot shall be thereby burdened with the rights of way shown hereon, and it is agreed that no building or similar structure of any kind shall be erected, on, or over the said rights of way by the grantor, its successors and assigns, or Howard County, Maryland.

The lots or parcels shown on this plat are subject to the supplemental sewer in-aid-of-construction charge created by Section 20-311A of the Howard County Code, and to Executive Order No. 72-9.



(By) *Walter F. Woodruff*
 THE HOWARD RESEARCH AND DEVELOPMENT CORP. Auth. Agent
 COLUMBIA, MARYLAND 21044

COORDINATE SCHEDULE

NO.	NORTH	EAST
1	497.721.98	832.829.01
2	497.795.82	832.806.67
3	498.043.36	832.759.98
4	498.345.31	832.651.96
5	498.417.25	832.612.60
6	498.475.77	832.719.57
7	498.413.98	832.742.06
8	498.418.02	832.844.85
9	498.269.53	832.929.48
10	498.087.60	833.040.63
11	497.733.42	832.889.69

NOTES:

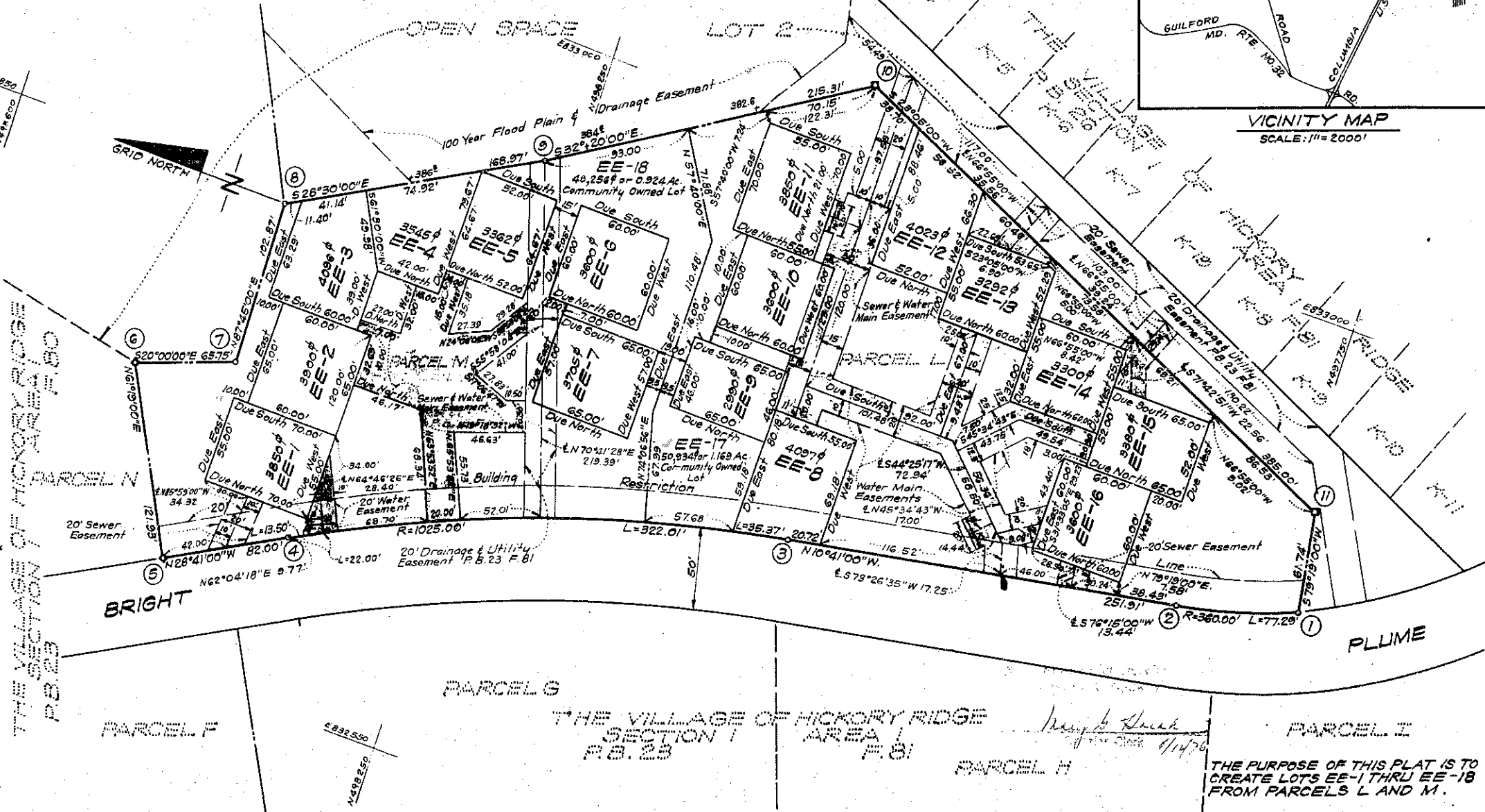
- Denotes 4"x4" Concrete Monuments.
- Minimum building setback restrictions from property lines and the right-of-way of any public road or street to be in accordance with the recorded Final Development Plan Criteria.
- Parcels L and M were recorded in Plat Book 23 Folio 81.
- Maintenance of all storm drain and/or drainage easements shown hereon are the responsibility of the property owner, its successors and assigns.

The undersigned, owner of the property shown on this plat, its successors and assigns, grants unto Howard County, Maryland, its successors and assigns, the right to construct and maintain sewers, water pipes, and appurtenances, in and through the specific easement areas shown hereon to the end that the specific lots shall be thereby burdened with the right-of-way shown hereon, and it is agreed that no buildings or similar structures of any kind shall be erected in, on, or over the said right-of-way by the grantor, its successors and assigns, or Howard County, Maryland.

ROUSE INVESTING COMPANY AUTH. AGENT

TABULATIONS

TOTALS	ACREAGE
Residential Lots (16)	= 1.336
ROW	=
Community Owned Lots (2)	= 2.099
Total	= 3.429
Lots this plat (including Community Owned Lots)	= 18



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT
W. Woodruff 3/31/76
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
W. Woodruff 4-7-76
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
P. J. King 3-22-76
 DIRECTOR DATE

SURVEYOR'S, ENGINEER'S and OWNER'S CERTIFICATES

The undersigned, owner of the property shown on this Plat, grants unto, (1) Howard County, Maryland, its successors and assigns, the right to lay, construct and maintain water and sewer mains and laterals therefor in and under all road and street rights-of-way as shown hereon; (2) further it adopts this plan of subdivision and reserves the fee simple title to the beds of the streets and/or roads hereon, except however, for one dollar consideration, it herewith grants the right and option to Howard County, Maryland to acquire (within a period of five years commencing with the date of recording of this plat among the Land Records of Howard County) the fee simple title to the beds of the streets and/or roads shown hereon.

The undersigned certify that the subdivision plan shown hereon is correct as complying with the requirements of Final Development Plan Phase 100-A recorded in Plat Book 20 Folios 149 to 157, each inclusive, with all Open Space shown hereon to be used for drainage easements, if necessary, and the requirements of Article 21, Section 3-108 of the annotated code of Maryland concerning the making of this Plat and setting of markers have been complied with. The land shown hereon is a part of the land which by deed dated October 31, 1974 and recorded among the Land Records of Howard County, Maryland in Liber 702 Folio 486, was granted and conveyed by Lewis Stroughn Nippard and Terry B. Blair, Substitute Trustees, to Rouse Investing Company.

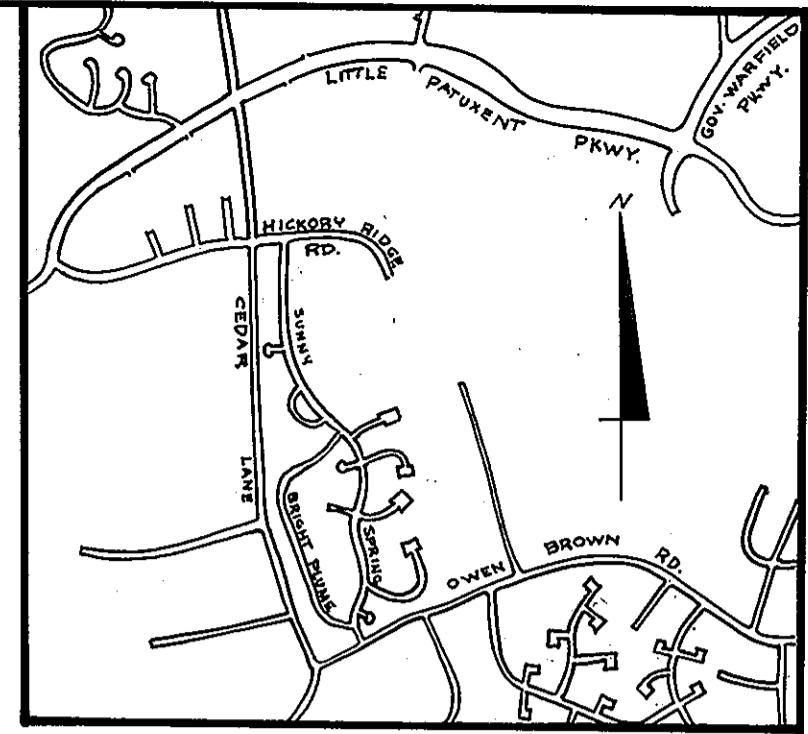
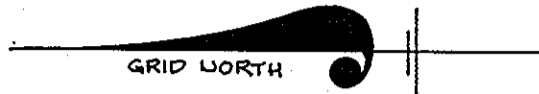
PROFESSIONAL LAND SURVEYOR
 (By) *Donald H. Sackett*
 CLARK, FINEFROCK & SACKETT, INC.
 11315 LOCKWOOD DRIVE, SILVER SPRING, MD. 20904

PROFESSIONAL ENGINEER
 (By) *Thomas M. Clark*
 CLARK, FINEFROCK & SACKETT, INC.
 11315 LOCKWOOD DRIVE, SILVER SPRING, MD. 20904

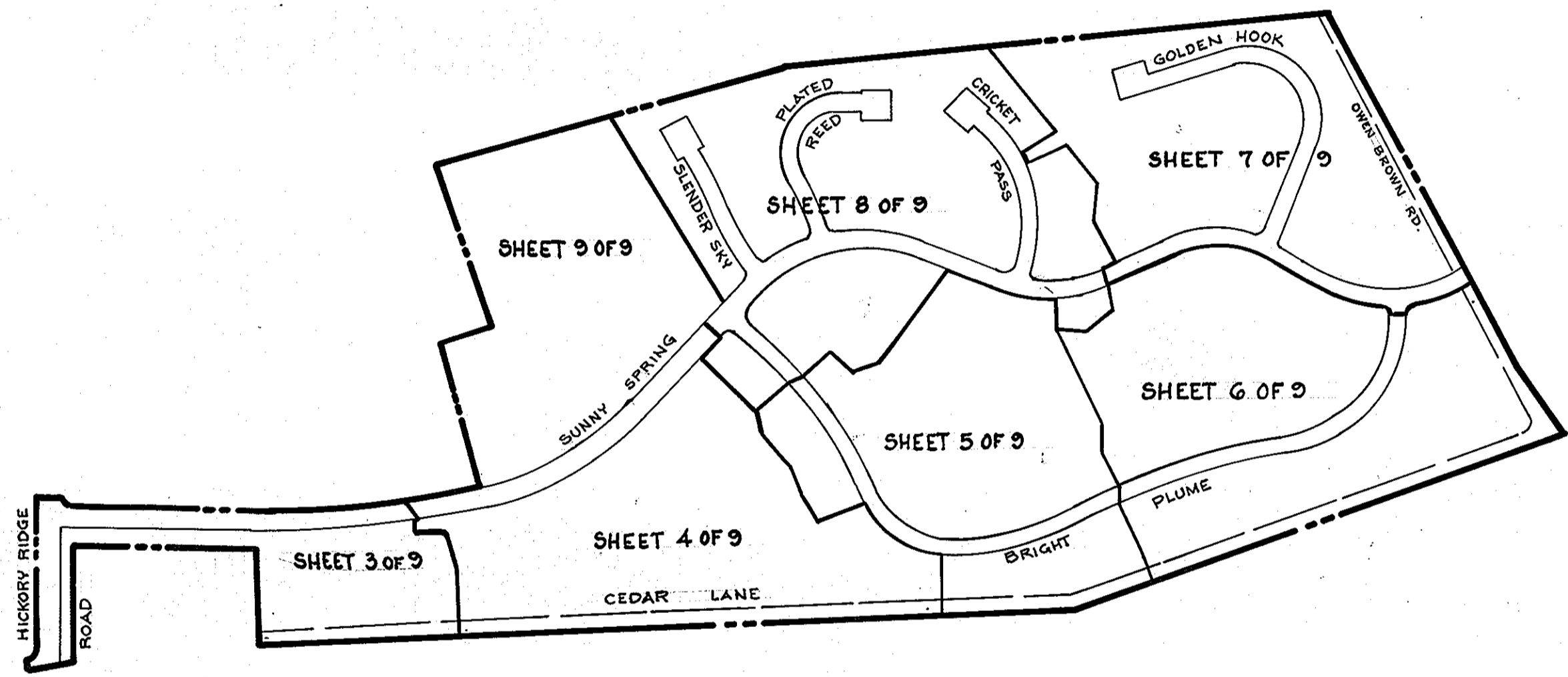
OWNER
 (By) *Thomas M. Clark*
 ROUSE INVESTING COMPANY Auth. Agent
 COLUMBIA, MD. 21044

RECORDED IN PLAT BOOK _____ FOLIO _____
 on _____ 19 _____ among The
 Land Records of Howard County, Maryland.

COLUMBIA
THE VILLAGE OF HICKORY RIDGE
 Section 1 Area 1
 Lots EE-1 Thru EE-18
 A Resubdivision of Parcels L and M
 SECTION 1
 AREA 1
 Sheet 1 of 1
 FILED APR 12 1976
 5TH Election District of Howard County, Md.
 Scale: 1" = 50' Date: MAR., 1976



VICINITY MAP
SCALE: 1" = 2000'



SUMMARY OF AMENDMENTS

- PHASE 100-A-I: REVISED SHEETS 2, 6 AND 7 OF 9. PURPOSE WAS TO CHANGE THE SIZE OF LOTS 3 AND 4 ON SHEET 6 AND LOTS ON SHEET 7 THEREBY INCREASING THE S.F.M.A. ACREAGE BY 0.083 ACRES, REDUCING THE NON-CREDITED OPEN SPACE THE SAME AMOUNT, AND AFFECTING THE TABULATION ON SHEET 2.
- PHASE 100-A-II: REVISED SHEETS 2 AND 9 OF 9. PURPOSE WAS TO CHANGE THE ACREAGE TABULATION ON SHEET 2 INCREASING THE EMPLOYMENT CENTER COMMERCIAL ACREAGE BY 0.058 ACRES BECAUSE OF THE CHANGE IN LOCATION AND SIZE OF LOT 12-A ON SHEET 9.
- PHASE 100-A-III: REVISES SHEET 2 OF 9. PURPOSE IS TO ENUMERATE ALLOWABLE USES FOR NEIGHBORHOOD CENTER AND CONFORM CRITERIA TO LATEST ZONING REGULATIONS.

RECORDED PLAT 3054A-649
ON 3-9-1979 AMONG THE LAND RECORDS OF
HOWARD COUNTY, MD.

**VILLAGE OF HICKORY RIDGE
SECTION 1 AREA 1**

PETITIONER AND OWNER
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
COLUMBIA, MD. 21044

THIS AMENDED PLAT SUPERSEDES FINAL DEVELOPMENT PLAN
PHASE 100-A-I RECORDED AMONG THE LAND RECORDS OF
HOWARD COUNTY, MARYLAND ON MARCH 16, 1979 AS PLAT 3054-A-196

COLUMBIA

AMENDED
FINAL DEVELOPMENT PLAN PHASE 100-A-II
5TH ELECTION DISTRICT HOWARD COUNTY, MD.
SCALE: 1" = 400' SHEET 1 OF 9

PREPARED AS TO SHEETS 1 TO 9
IN ACCORDANCE WITH THE ZONING REGULATIONS
OF HOWARD COUNTY
ADOPTED OCTOBER 3, 1977

Richard Hoyle
PROPERTY LINE SURVEYOR



BOARD OF COUNTY COMM. B.C.C. CASE 412 RESOLUTION APPROVED AUG. 10, 1965
AMENDED B.C.C. CASE 507 RESOLUTION APPROVED NOV. 4, 1968
AMENDED Z.B. CASE 606 RESOLUTION APPROVED NOV. 22, 1972
AMENDED Z.B. CASE 644 RESOLUTION APPROVED JAN. 7, 1974
AMENDED Z.B. CASE 693 RESOLUTION APPROVED DEC. 20, 1976

HOWARD COUNTY PLANNING BOARD

Thomas A. Hamill 3-7-84
H.C.P.B. EXEC. SECRETARY DATE

Wm. E. Thurman 7 Dec 84
H.C.P.B. CHAIRMAN DATE

PHASE OR AMENDMENT	DATE	PLAT BOOK	FOLIO
100-A-I	MARCH 16, 1979	3054A-196	thru 204
100-A	DECEMBER 11, 1972	20	149 thru 157
100	MARCH 8, 1972	20	75 thru 83
RECORDED			

FINAL DEVELOPMENT PLAN CRITERIA

THE AREA INCLUDED WITHIN THIS FINAL DEVELOPMENT PLAN PHASE IS APPLICABLE TO SECTION 1, AREA 1 OF THE VILLAGE OF HICKORY RIDGE.

1. PUBLIC STREET AND ROADS - Section 119-C-1-a(1):
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
2. PUBLIC RIGHTS-OF-WAY - Section 119-C-1-a(2):
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
3. MAJOR UTILITY RIGHTS-OF-WAY - Section 119-C-1-a(3):
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
4. DRAINAGE FACILITIES - Section 119-C-1-a(4):
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
5. RECREATIONAL, SCHOOL, PARK AND OTHER COMMUNITY USES - Section 119-C-1-b:
To be shown on the Final Development Plan, if required by the Howard County Planning Board.
6. PERMITTED GENERAL LOCATION OF BUILDINGS AND STRUCTURES - Section 119-C-1-d:
The term "structure", as used in this Final Development Plan phase, shall include but not be limited to:

cornices	porches, decks, open or enclosed bay windows, oriel, vestibule, balcony
eaves	privacy walls or screens
roof or building overhangs	all parts of any buildings
chimneys	dwelling or accessory buildings

All setback areas shall be clear of any protrusions, extensions, or construction of any type, except cornices and eaves may project not more than three (3) feet into the setback area; bay windows, oriels, vestibules, balconies or chimneys which are not more than ten (10) feet in width may project not more than four (4) feet into the setback area; and porches, decks, open or enclosed may project not more than ten (10) feet into the front or rear setback area, and where any land use is adjacent to a freeway or primary road, no structure shall be located within 50' of the right-of-way line thereof except, however, that structures may be constructed at any location within such setback areas if such construction is in accordance with a site development plan approved by the Howard County Planning Board.

The term "structure" does not include the following upon which no restriction as to location is imposed:

trellises	excavations or fill
walks	fencing under 6' in height
shrubby	retaining walls under 3' in height
trees	similar minor structures
ornamental landscaping	

Determination of the specific character of "similar minor structures" and setbacks applicable there to will be made by the Howard County Office of Planning and Zoning.

Fences or walls located within setback areas adjacent to a public street, road or highway upon which construction of structures is prohibited shall not exceed 3' in height if solid or closed nor 5' in height if open, except in accordance with a site development plan approved by the Howard County Planning Board.

6A-2 SINGLE FAMILY LOW OR MEDIUM DENSITY PARCELS

No structure shall be located upon lots devoted to single family medium density land use within 20' of any 50' street right-of-way, nor within 30' of any 60' or greater street right-of-way, nor within 7 1/2' of any property line not a right-of-way line for a public street, road or highway, except, however, structures may be located outside setback lines if expressly approved by the Howard County Planning Board. Structures may be located at any location within such setback areas except that they may not be closer than 15' one from another.

Wherever single family medium density structures are grouped in a parcel, maintenance provisions for those areas owned in common will be provided for and be incorporated by reference into the deed of each portion of such parcel and recording reference of same will be furnished to the Office of Planning and Zoning.

Common Areas owned in common in the project shall be adequately planted and landscaped as required by the Office of Planning and Zoning at the time a site development plan is submitted for approval.

6D. OPEN SPACE LAND USE AREAS

No structure within Open Space Land Use Areas shall be located within thirty (30) feet of the right-of-way of any public street, road or highway; or within twenty-five (25) feet of any property line; except, however, that structures may be constructed at any location upon lots devoted to Open Space Land Use provided such construction is in accordance with a site development plan approved by the Howard County Planning Board. All structures must be developed in accordance with a site development plan approved by the Howard County Planning Board.

7. PERMITTED USES - Section 119-C-1-d:

7A-3 SINGLE FAMILY MEDIUM DENSITY LAND USE AREAS

All parcels within single family medium density land use areas shall be used only for single family detached medium density residential uses as permitted by the Howard County Planning Board.

7C-1 EMPLOYMENT CENTER LAND USE - NEIGHBORHOOD CENTER - COMMERCIAL

All uses permitted in commercial districts or commercial land use zones are permitted including, but not limited to, all of the following:

- a. Parks, swimming pools, playgrounds, athletic fields, tennis courts, basketball courts and similar recreation facilities.
- b. Carnivals and fairs sponsored by charitable, social, civic, or educational organizations, for a period of time not to exceed sixteen (16) consecutive calendar days per event, provided that all of its material and equipment shall be completely removed from the lot within five (5) days of the closing of the carnival or fair.
- c. Museums, art galleries and libraries
- d. Buildings used primarily for religious activities
- e. Non-profit clubs, lodges, community halls
- f. Farm produce stands
- g. Day Care Center
- h. Convenience Store

7E-1 OPEN SPACE LAND USE AREAS

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 13 are to be used for all open space land uses including, but not limited to, pedestrian and bicycle pathways. These lots may be used for drainage and utility easements if necessary, provided that such easements are shown on the subdivision plat if required by the Howard County Office of Planning and Zoning.

7E-2 NEIGHBORHOOD CENTER - OPEN SPACE LAND USE AREAS

Lot 11A is to be used for all open space land uses, including, but not limited to, all of the following:

- a. Operation and maintenance of a public or private park, playground, swimming pool and similar community recreational uses.
- b. Operation of a public or private child care center.
- c. Operation of a Neighborhood Community Center which may be used for all community activities customary to a Neighborhood Center, including, but not limited to:
 1. The presentation and performance of outdoor community activities, public or private, such as musical and theatrical performances, outdoor picnics, art shows, and carnivals.
 2. Rummage sales, white elephant sales, cake sales, dances, and similar activities.
 3. Operation of a community hall including leasing of same for public or private uses.
 4. Operation of such commercial activities as are consistent with a Neighborhood Center such as a snack bar.

7E-7 SCHOOL SITES OPEN SPACE LAND USE AREAS:

Lot 10 shall be used for a public school. In computing the amount of land devoted to the Open Space Land use under the requirements of Section 119-A-9 of the Howard County Zoning Regulations, only 90% of the area of Lot 10 shall be evaluated as Open Space Land Use in computing the minimum area as required by Section 119-A-9.

8 HEIGHT LIMITATIONS - Section 119-C-1-e:

8A SINGLE FAMILY LOW AND/OR MEDIUM DENSITY LAND USE AREAS

No structure shall be constructed more than 34 feet in height from the highest adjoining ground elevation adjacent to the building upon lots devoted to single family land uses.

8C-1 NEIGHBORHOOD CENTER - COMMERCIAL

No structure shall be constructed more than 34 feet in height from the highest adjoining ground elevation adjacent to the building upon lot 12A.

8F OPEN SPACE LAND USE AREAS

No height limitation is imposed upon structures constructed within Open Space Land Use Areas provided improvements thereon are constructed in accordance with a site development plan approved by the Howard County Planning Board.

9. PARKING REQUIREMENTS - Section 119-C-1-e:

9A SINGLE FAMILY MEDIUM AND/OR LOW DENSITY LAND USE AREAS

No less than two (2) off-street parking spaces containing a minimum area of one hundred and eighty (180) square feet per each parking space shall be provided for each single family residential structure within single family land use areas.

9C-1 COMMERCIAL LAND USE AREAS - NEIGHBORHOOD AND VILLAGE CENTER

In all commercial land use areas, the following parking requirements shall apply:

- a. Five (5) parking spaces shall be provided for each 1,000 square feet of net leasable retail commercial area.
- b. Three (3) parking spaces shall be provided for each 1,000 square feet of office space in this Final Development Plan Phase.

9E OPEN SPACE LAND USE AREAS

No parking requirements are imposed upon any of the land within this Final Development Phase devoted to open space uses. In the event structures are proposed for construction on any portion of such land parking requirements therefore may be imposed by the Howard County Planning Board at the time a site development plan is submitted for approval. Any open space land use areas as may be required for parking purposes by the Howard County Planning Board shall be deducted from the credited open space land use tabulations and denoted as non-credited in accordance with Section 119-A-9 of The Howard County Zoning Regulations.

10. SETBACK PROVISIONS - Section 119-C-1-e:

10A. GENERALLY:

- a. Setbacks shall conform to the requirements of Section 6 above.
- b. No other setbacks restrictions are imposed upon land within this Final Development Plan Phase.

11. MINIMUM LOT SIZES - Section 119-C-1-e:

As shown on subdivision plat in accordance with minimum lot sizes as may be required by the Howard County Planning Board.

12. COVERAGE REQUIREMENTS - Section 119-C-1-e:

SINGLE FAMILY LOW AND/OR MEDIUM DENSITY DETACHED RESIDENTIAL LAND USE AREAS
In no event shall more than 30 percent (30%) of any parcel devoted to single family residential purposes be covered by buildings or other major structures. No limitation is imposed upon the area used for sidewalks, paved parking areas, trees and shrubbery and similar minor structures.

12C. COMMERCIAL LAND USE AREAS

No coverage requirement is imposed upon land within this Final Development Plan Phase devoted to Commercial Land Uses, except in accordance with a site development plan approved by the Howard County Planning Board.

12E. OPEN SPACE LAND USES

No more than ten percent (10%) of the land within this Final Development Plan Phase devoted to Open Space Land Uses shall be covered by buildings or major structures except in accordance with a site development plan as approved by the Howard County Planning Board.

TABULATION OF LAND USE

LAND USE	ACRES
S.F.M.D.	91.888
Roadway	23.489
Employment Center	
Commercial	0.565
Open Space	
Credited	31.122
Non-credited	3.072
TOTAL	126.647

PURPOSE NOTE:

The purpose of this amended plat, which supersedes plat recorded among the land records of Howard County, Maryland, on March 16, 1979, as Plat 3054A-197 is to enumerate allowable uses for neighborhood center, and to conform criteria to latest zoning regulations.

RECORDED PLAT 3054A-650
ON 3-9-1984 AMONG THE LAND RECORDS OF
HOWARD COUNTY, MD.

**VILLAGE OF HICKORY RIDGE
SECTION 1 AREA 1**

PETITIONER AND OWNER

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
COLUMBIA, MD. 21044

COLUMBIA

AMENDED

FINAL DEVELOPMENT PLAN PHASE 100-A-II
5TH ELECTION DISTRICT HOWARD COUNTY, MD.

