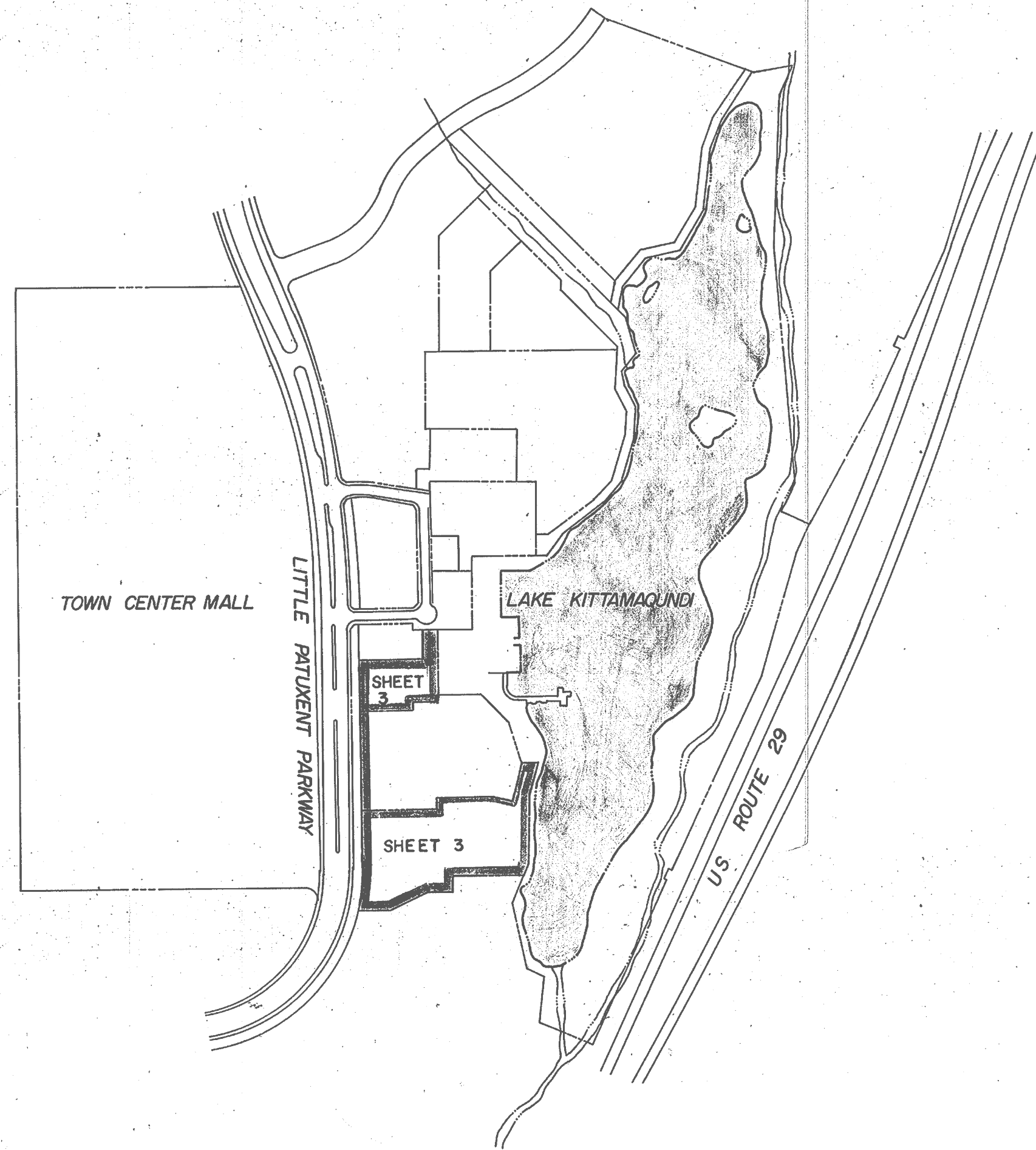


VICINITY MAP
SCALE: 3/4" = 1 MILE



SUMMARY OF AMENDMENTS

- 95-A-II - REVISED SHEET 2 OF 3 (CRITERIA)
ADJUST SECTION 9 TO INCLUDE PARAGRAPHS D. AND E.
- 95-A-III - REVISED SHEETS 1, 2, 3. PURPOSE IS TO
REVISE LAND USE FOR NEW LOT 25 FROM COMMERCIAL
TO CREDITED OPEN SPACE. TABULATIONS AND
CRITERIA REVISED ACCORDINGLY.

THIS PLAT SUPERCEDES FINAL DEVELOPMENT PLAN PHASE 95 PREVIOUSLY
RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN
PLAT BOOK 19 FOLIO 85

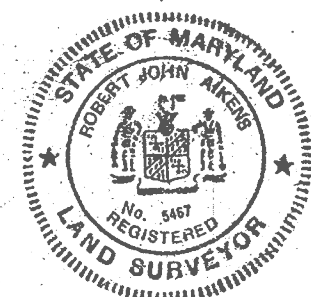
TOWN CENTER
SECTION I ADDITION

PETITIONER AND OWNER
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
COLUMBIA, MARYLAND 21043

COLUMBIA

FINAL DEVELOPMENT PLAN PHASE NINETY-FIVE
5TH ELECTION DISTRICT HOWARD COUNTY, MD.
SCALE 1" = 400' APRIL, 1970 SHEET 1 OF 3

PREPARED AS TO SHEETS 1 TO 3
IN ACCORDANCE WITH THE ZONING REGULATIONS
OF HOWARD COUNTY
ADOPTED MAY 16, 1961 AND AS
AMENDED MAY 27, 1965



Robert J. Adams 5467
LAND SURVEYOR'S SIGNATURE
RICHARD P. BROWNE ASSOC. COLUMBIA, MD.

BOARD OF COUNTY COMM. B. C. C. CASE 412
RESOLUTION APPROVED AUGUST 10, 1965

HOWARD COUNTY PLANNING BOARD

Thomas A. Harris 5-7-70 *E. Marcus Lynch* 5-7-70
H. C. P. B. EXEC. SEC. DATE H. C. P. B. CHAIRMAN DATE

RECORDED PLAT BOOK 19 FOLIO 85
ON MAY 27 1970 AMONG THE LAND RECORDS OF
HOWARD COUNTY, MD.

FINAL DEVELOPMENT PLAN CRITERIA

PHASE 95 - A - II

The Area included within this Final Development Plan Phase is applicable to Section 1, Area 2 of the Town Center

1. PUBLIC STREETS AND ROADS - Section 17.031 A (1):
To be shown on Subdivision plats, if required by the Howard County Office of Planning and Zoning.
2. PUBLIC RIGHTS-OF-WAY - Section 17.031 A (2):
To be shown on Subdivision plats, if required by the Howard County Office of Planning and Zoning.

Vehicular ingress and egress to Little Patuxent Parkway will be permitted only at points of access approved by the Howard County Office of Planning and Zoning.

3. MAJOR UTILITY RIGHTS-OF-WAY - Section 17.031 A (3):
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
4. DRAINAGE FACILITIES - Section 17.031 A (4):
To be shown on subdivision plats, if required by the Howard County Office of Planning and Zoning.
5. RECREATIONAL, SCHOOL, PARK AND OTHER COMMUNITY USES - Section 17.031 B:
To be shown on the Final Development Plan, if required by the Howard County Planning Board.

6. PERMITTED GENERAL LOCATIONS OF BUILDINGS AND STRUCTURES - Section 17.031 D. The term "structure", as used in this Final Development Plan Phase, shall include but not be limited to:

cornices	porches
eaves	bay windows
roof or building overhangs	privacy walls or screens
chimneys	all parts of any building
trellises	dwelling, or accessory buildings

All setback areas shall be clear of any protrusions, extension, or construction of any type, and where any land use is adjacent to a freeway or primary road, no structure shall be located within 50' of the right-of-way line thereof nor within fifty (50) feet of a public road owned and/or maintained by the County or State for any building permitted with T-1, B-1, S-C, M-R; or M-1 use-type areas of the New Town District, except, however, that structures may be constructed at any location within such setback areas if such construction is in accordance with a site development plan approved by the Howard County Planning Board after a public hearing in accordance with Section 17.037E(2) of the Howard County Zoning Regulations.

The term "structure" does not include the following upon which no restriction as to location is imposed:

walks	excavations or fill
shrubby	fencing under 6' in height
trees	retaining walls under 3' in height
ornamental landscaping	similar minor structures

Determination of the specific character of "similar minor structures" and setbacks applicable thereto will be made by the Howard County Office of Planning and Zoning.

Fences or walls, if located within setback areas adjacent to a public street, road, or highway upon which construction of structures is prohibited, shall not exceed 3' in height if solid or closed nor 5' in height if open, except in accordance with a site development plan approved by the Howard County Planning Board.

6C-1 EMPLOYMENT CENTER LAND USE AREAS - COMMERCIAL

No structure shall be located within 30 feet of the right-of-way of any public street, road or highway; except however, that structures may be constructed at any location within such setback area if such construction is in accordance with a site development plan approved by the Howard County Planning Board; however, whenever a structure is located within 50 feet of the right-of-way of any public street, road, or highway a public hearing must be held in accordance with Section 17.037E(2) of the Howard County Zoning Regulations before a site development plan will be approved by the Howard County Planning Board. No parking area shall be located within ten (10) feet of any lot line except

as may be shown on a site development plan approved by the Howard County Planning Board. Except as restricted by this Paragraph, 6C-1, buildings and other structures may be located at any location within commercial land use areas. All structures must be developed in accordance with a site development plan approved by the Howard County Planning Board

Adequate planting and landscaping must be provided, as required by the Howard County Planning Board at the time a site development plan is submitted for approval, whenever employment center commercial areas are in proximity to a residential land use area.

6D - OPEN SPACE LAND USE AREAS - SEE THIS SHEET

7. PERMITTED USES - Section 17.031 D:
EMPLOYMENT CENTER LAND USE - TOWN CENTER - COMMERCIAL
All uses permitted in commercial districts or commercial land use zones are permitted including, but not limited to, all of the following:

Uses permitted in B-1 districts.

Division of commercial land use areas into individual lots to be owned, leased, mortgaged or otherwise conveyed individually, without immediate direct access to a public road is expressly permitted on condition that there shall be provided at all times one or more areas adjoining such lots, for use in common by the owners, lessees, mortgagees, and others having an interest in such lots, which areas shall provide vehicular and pedestrian access to such lots across, parking and other common spaces.

TE-1 - OPEN SPACE LAND USE AREAS - SEE THIS SHEET

8. HEIGHT LIMITATIONS - Section 17.031 E:
TOWN CENTER - COMMERCIAL

No height limitation is imposed upon structures constructed within this Final Development Plan Phase provided improvements thereon are constructed in accordance with a site development plan approved by the Howard County Planning Board.

8E - OPEN SPACE LAND USE AREAS - SEE THIS SHEET

9. PARKING REQUIREMENTS - Section 17.031 E:
COMMERCIAL LAND USE AREAS - TOWN CENTER

- Five (5) parking spaces shall be provided for each 1,000 square feet of net leasable area devoted to commercial retail sales uses.
- Two (2) parking spaces shall be provided for each 1,000 square feet of net leasable area contained within any building or buildings constructed upon land encompassed by this Final Development Plan Phase which are devoted to office uses.
- No parking requirement is imposed upon any restaurant, coffee shop, or similar facility constructed within such buildings which primarily serves tenants and employees of such buildings.
- Perpendicular parking bays may be established at or below grade or in elevated levels or decks in ten (10) foot by sixty (60) foot clear span modules. In the event that angular parking shall be provided, the dimensions of the parking spaces and aisles shall be subject to further approval of the Howard County Planning Board. Both of the above concepts shall be constructed in accordance with a site development plan approved by the Howard County Planning Board.
- Parking areas specifically designed for small cars (8 feet by 17 feet) may be permitted only if the parking they provide is in excess of those spaces required in Paragraph a, b, and c of this section on a site development plan approved by the Howard County Planning Board.

9E - OPEN SPACE LAND USE AREAS - SEE THIS SHEET

10. SETBACK PROVISIONS - Section 17.031 E:
GENERALLY

- Setbacks shall conform to the requirements of Section 6 above.
- No other setback restrictions are imposed upon land within this Final Development Plan Phase.

11. MINIMUM LOT SIZES - Section 17.031 E:

As shown on subdivision plat in accordance with minimum lot sizes as may be required by the Howard County Planning Board.

12. COVERAGE REQUIREMENTS - Section 17.031 E:

COMMERCIAL LAND USE AREAS
No coverage requirement is imposed upon land within this Final Development Plan Phase devoted to Commercial Land Uses, except in accordance with a site development plan approved by the Howard County Planning Board.

12E - OPEN SPACE LAND USE AREAS - SEE THIS SHEET

TABULATION OF LAND USE

LAND USE	ACRES
Employment Center Commercial	5.265 5.377
OPEN SPACE (CREDITED)	0.312

BOARD OF COUNTY COMM. B. C. C. CASE 412

RESOLUTION APPROVED AUGUST 10, 1965

AMENDED B.C.C. CASE 507 RESOLUTION APPROVED NOVEMBER 4, 1968
AMENDED B.C.C. CASE 606 RESOLUTION APPROVED NOVEMBER 22, 1972

HOWARD COUNTY PLANNING BOARD

[Signature] 3-7-74 H.C.P.B. EXEC. SEC. DATE
[Signature] 3/7/74 E. Marcum Lynch H.C.P.B. CHAIRMAN DATE

6D - OPEN SPACE LAND USE AREAS

No structures located within Open Space Land Use Areas shall be located within thirty (30) feet of the right-of-way of any public street, road, or highway; or within twenty-five (25) feet of any property line; except, however, that structures may be considered at any location upon lots devoted to Open Space Land Use provided such construction is in accordance with a site development plan approved by the Howard County Planning Board. All structures must be developed in accordance with a site development plan approved by the Howard County Planning Board. Structures existing at the time of this FDP amendment approval are not subject to setback requirements.

TE-1 OPEN SPACE LAND USE AREAS

Lot 25 to be used for all open space land uses including, but not limited to, pedestrian and bicycle pathways. This lot may be used for drainage and utility easements if necessary, provided that such easements are shown on the subdivision plat if required by the Howard County Office of Planning and Zoning.

8E - OPEN SPACE LAND USE AREAS

No height limitation is imposed upon structures constructed within Open Space Land Use Areas provided improvements thereon are constructed in accordance with a site development plan approved by the Howard County Planning Board.

9E - OPEN SPACE LAND USE AREAS

No parking requirements are imposed upon any of the land within this Final Development Plan Phase devoted to open space uses. In the event structures are proposed for construction on any portion of such land, parking requirements therefore may be imposed by the Howard County Planning Board at the time a site development plan is submitted for approval. Any open space land use areas as may be required for parking purposes by the Howard County Planning Board shall be deducted from the credited open space land use tabulations and denoted as non-credited in accordance with Section 125.0.A.B(e)(1) of the Howard County Zoning Regulations.

12E - OPEN SPACE LAND USE AREAS

No more than ten percent (10%) of the land within this Final Development Plan Phase devoted to Open Space Land Uses shall be covered by buildings or major structures except in accordance with a site development plan as approved by the Howard County Planning Board.

THIS PLAT SUPERCEDES FINAL DEVELOPMENT PLAN PHASE 95-A-II PREVIOUSLY RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN PLAT BOOK 20 FOLIO 280

THE PURPOSE OF THIS REVISED FINAL DEVELOPMENT PLAN CRITERIA IS TO ADJUST SECTIONS 6, 7, 8, 9, & 12 TO ADD OPEN SPACE CRITERIA

RECORDED IN PLAT BOOK 20 FOLIO 280
on 3/21/74 among the
Land Records of Howard County, Maryland.

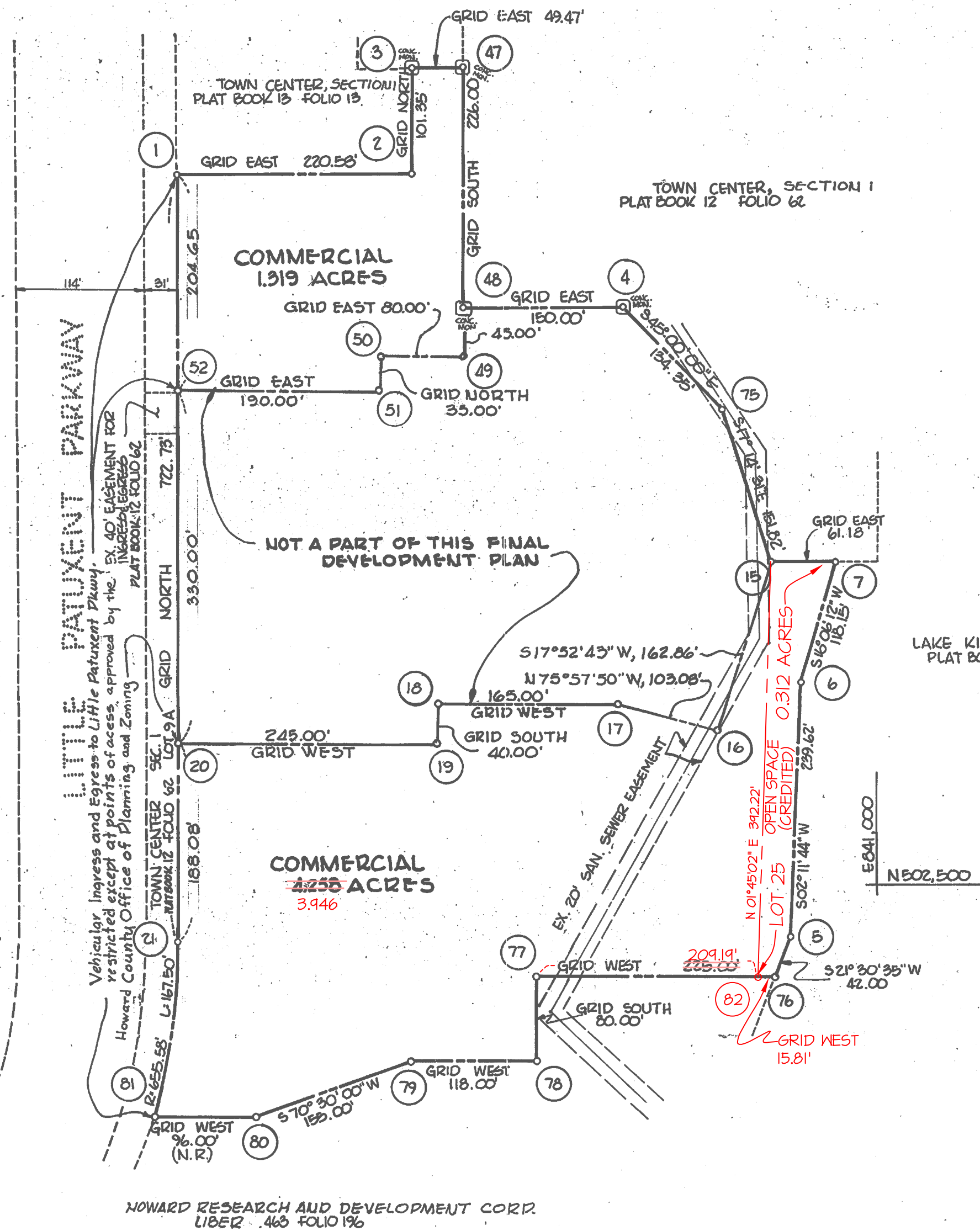
~~NOTE: THIS AMENDED PLAT IS INTENDED TO SUPERSEDE SHEET 2 OF 3, FINAL DEVELOPMENT PLAN PHASE 95-A RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN PLAT BOOK 20 FOLIO 265~~

~~NOTE: The purpose of this revised Final Development Plan Criteria is to adjust Section 9 to include paragraphs d. and e.~~

TOWN CENTER
SECTION 1 AREA 2
PETITIONER AND OWNER
THE ROUSE COMPANY
COLUMBIA, MARYLAND 21044

COLUMBIA

FINAL DEVELOPMENT PLAN PHASE 95 - A - II
5th ELECTION DISTRICT HOWARD COUNTY, MD.



E 840,000
N 503,000

E 840,000
N 502,500

E 841,000
N 502,500

COORDINATES		
NO.	NORTH	EAST
01	503,169.65	840,340.00
02	503,169.65	840,560.53
03	503,271.00	840,560.53
04	503,045.00	840,760.00
05	502,452.05	840,919.23
06	502,691.49	840,923.41
07	502,805.00	840,961.18
15	502,805.00	840,900.00
16	502,650.00	840,850.00
17	502,675.00	840,750.00
18	502,675.00	840,585.00
19	502,635.00	840,585.00
21	502,446.92	840,340.00
47	502,271.00	840,610.00
48	503,045.00	840,610.00
49	503,000.00	840,610.00
50	503,000.00	840,530.00
51	502,965.00	840,530.00
75	502,950.00	840,855.00
20	502,625.00	840,340.00
52	502,965.00	840,340.00
76	502,412.97	840,903.83
77	502,412.97	840,678.83
78	502,332.97	840,678.83
79	502,332.97	840,560.83
80	502,281.23	840,414.72
81	502,281.23	840,318.72
82	502,412.97	840,888.02

THIS PLAT SUPERCEDES FINAL DEVELOPMENT PLAN PHASE 95 PREVIOUSLY RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN PLAT BOOK 19 FOLIO 87

THE PURPOSE OF THIS REVISED FINAL DEVELOPMENT PLAN IS REVISE LAND USE FOR NEW LOT 25 FROM COMMERCIAL TO CREDITED OPEN SPACE.

TOWN CENTER
SECTION I ADDITION
PETITIONER AND OWNER
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
COLUMBIA, MARYLAND 21043

COLUMBIA

FINAL DEVELOPMENT PLAN PHASE NINETY-FIVE
5TH ELECTION DISTRICT HOWARD COUNTY, MD.
SCALE 1" = 100' APRIL, 1970 SHEET 3 OF 3

RECORDED PLAT BOOK 19 FOLIO 87
ON MAY 7 1970 AMONG THE LAND RECORDS OF
HOWARD COUNTY, MD.