



HOWARD COUNTY HISTORIC PRESERVATION COMMISSION
ELlicott City Historic District ■ LAWYERS HILL Historic District
 3430 Court House Drive ■ Ellicott City, Maryland 21043

Administered by the Department of Planning and Zoning

www.howardcountymd.gov
 410-313-2350
 FAX 410-313-3467
 TDD 410-313-2323

**HPC EXECUTIVE SECRETARY
 EXEMPTION DETERMINATION FOR MINOR ALTERATIONS
 AND TAX CREDIT PRE-APPROVAL**

APPLICANT INFORMATION:	PROPERTY INFORMATION:
Michael Koplow 4229 Scarlet Sage Court Ellicott City, MD 21042	Property Address: 3715 Old Columbia Pike, Ellicott City Minor Alteration Case Number: MA-19-44 Property Information: Map 25A, Parcel 229
OWNER INFORMATION:	HISTORIC DISTRICT INFORMATION
Michael Koplow 4229 Scarlet Sage Court Ellicott City, MD 21042	Ellicott City Historic District <input checked="" type="checkbox"/> Lawyers Hill Historic District <input type="checkbox"/>

PROPOSED WORK:

The applicant proposes to remove the existing roof down to the decking and remove any unused penetrations (such as the metal air handlers for a previous commercial kitchen). The roof is a flat roof and the existing roof material appears to be tarred asphalt sheets. The roof will be replaced with a 1" ISO insulation board and a Firestone .060 fully adhered white TPO 20-year roofing system. New gravel stop and drip edge flashing will be installed around the perimeter.

The applicant would also like to remove the two existing chimneys from the roof in order to completely seal the roof. The applicant reported that the chimneys are not functional and do not connect to any interior fireplace or chimney stacks. The chimneys are in poor condition.

COMPLIANCE WITH GUIDELINES:

The Executive Secretary has determined that the proposed work is considered a minor alteration and is consistent with the Guidelines as referenced below.

Chapter 6: Rehabilitation and Maintenance of Existing Buildings

1) Replace historic roof materials only when necessary due to extensive deterioration; use replacement material that matches or is similar to the original. If this is not possible, a different material characteristic of the building's style, construction methods and period may be used.


The Guidelines do not specifically address materials for flat roofs. The proposed roof to be replaced is not historic, but the proposed replacement material (white TPO) is a current material that is characteristic of the building's style of construction method with the flat roof.

The chimneys are minimally visible from the street and are not character defining architectural features. The removal of the chimneys will not affect the historic integrity of the building (and there are no interior fireplaces), but will assist in waterproofing the building as the chimneys are currently in poor condition.

COMPLIANCE WITH COUNTY CODE SECTION 20.112 FOR TAX CREDIT PRE-APPROVAL:

The Executive Secretary has determined that the proposed work is eligible for historic property tax credits and is consistent with the County Code as referenced below.

- 1) The repair or replacement of exterior features of the structure;
- 2) Work that is necessary to maintain the physical integrity of the structure with regard to safety, durability, or weatherproofing;
- 3) Maintenance of the exterior of the structure, including routine maintenance as defined in section 16.601 of the County Code.

Date Posted to HPC Website:	Executive Secretary Signature
10/30/2019	 10/30/19 Beth Burgess, Executive Secretary Date Historic Preservation Commission

**3715 Old Columbia Pike, Ellicott City
Minor Alteration Determination**

AFTER 5 DAYS POSTING ON WEBSITE:

Written Objection WAS NOT Received:	Written Objection WAS Received:	Date Issued:
<input type="checkbox"/> No written objection was received and the proposed work was determined to be a minor alteration, not requiring Commission approval.	<input type="checkbox"/> Yes, a written objection was received. A Certificate of Approval is required.	

Executive Secretary Signature

Beth Burgess, Executive Secretary Date
Historic Preservation Commission

**IMPORTANT
APPLICANT INFORMATION**

1. As the work progresses, if you find that changes to the pre-approved work are necessary, you must contact the Historic Preservation Commission Staff representative to determine if the proposed changes must be approved.
 2. In order for labor to be eligible for the tax credit, the contractor must hold an active MHIC license or other applicable license. All invoices must include the contractor's license number and a clear, itemized scope of work for each item being claimed.
 3. Submit receipts and canceled checks for materials or contracts showing that the invoice has been paid. Copies of receipts are acceptable.
 4. Indicate the total amount of tax credit being claimed on the application form.
 5. Submit photographs showing the completed work.
- When the work has been completed, submit the Final Tax Credit Application form and your application will be scheduled for the next available Commission meeting for which it meets the application deadline. A dollar amount of tax credit will be approved based on the receipts, checks, contracts, and documentation submitted. The final approval will then be forwarded to Howard County Department of Finance.

HOWARD COUNTY HISTORIC PRESERVATION COMMISSION

GENERAL APPLICATION FOR CERTIFICATE OF APPROVAL AND TAX CREDIT PRE-APPROVAL

SUBMIT 10 COPIES of this application package, including all supporting materials required on pages 2-5 of this application to Howard County Department of Planning and Zoning. Applications must be received no later than 5:00 pm 22 days prior to the meeting. Applications can be submitted via mail, but may result in missing the deadline. Applications are not accepted via email or fax.

Address: 3430 Court House Drive, Ellicott City, MD 21043

Meeting Information

The Historic Preservation Commission (HPC) meets at 7:00 pm generally on the first Thursday of each month at 3430 Court House Dr., Ellicott City, MD. Please contact us regarding emergency applications.

Questions

Please contact Samantha Holmes, Historic Preservation Planner at 410-313-4428 or sholmes@howardcountymd.gov.

FOR STAFF USE ONLY

Application #:

HPC -

MA - 19 - 44

Meeting Date:

posted online

Date Received:

RECEIVED

OCT 28 2019

PROPERTY INFORMATION

Address of Subject Property: 3715 OLD COLUMBIA PIKE ELLICOTT CITY

Name of Property Owner: MICHAEL KOPLow

Historic District (please check): Ellicott City Local Historic District Lawyers Hill Local Historic District

Is this property listed on the Howard County Historic Sites Inventory? Y N #HO- _____

APPLICANT INFORMATION

Name of Applicant (please only provide one name for contact purposes): MICHAEL KOPLow

Mailing address: 4229 SCARLET SAGE COURT ELLICOTT CITY MD 21042

Phone No. (W) 443 812 1158 (H) 410 750 1237

Email: M4KOPLow@VERIZON.NET Contact Preference: CELL: 410 707 0277

BELOW FOR STAFF USE ONLY

Tax Account Number: _____

Map _____ Parcel _____

Part 1: General Application for Certificate of Approval

ALL APPLICATIONS MUST INCLUDE: The information required in this checklist must be provided or the application will be incomplete and may be rejected for consideration by the Commission. Please check each box below to confirm you have provided this information.

- Labeled, color photographs of existing property conditions, printed on 8.5x11 paper, no more than two images per page. Do not submit individual 4x6 photographs.
- A detailed description of the proposed work (include below or provide on a separate sheet of paper if more space is needed— do not add proposed work into the Guidelines justification section).
- Product specification sheets/photographs of product that clearly shows materials, colors, and dimensions.
- Plot plan of property, site plans, or elevations (as applicable to proposal; but required for any new construction).
- For major alterations: elevation drawings of proposed structure indicating dimensions, design, height, color, and materials. Product spec sheets are required for all new elements.
- A completed Part 2 of this application (page 3-4). Application may be rejected if not complete. If Part 2 is not suitable for your project, please type up a detailed explanation on a separate piece of paper.
- A completed Part 3 of this application (page 5) if you seek tax credits for any work.
- A completed Part 4 of this application (page 5). If the owner is not the applicant, the owner's signature is also required.
- I have read the Ellicott City or Lawyers Hill Design Guidelines and find my proposal complies with the recommendations in the Guidelines, as indicated below.

DESCRIPTION OF PROPOSAL: If more room is required, please provide write up on a separate sheet of paper to best organize proposed work. Continue to Part 2 (page 3-5) to complete required checklists.

REMOVAL OF EXISTING ROOF DOWN TO DECKING. REMOVAL OF ANY UNUSED PENETRATIONS.
FASTEN 1" ISO INSULATION BOARD. INSTALL FIRESTONE 0.60 FULLY ADHERED WHITE TPO 2
ROOFING SYSTEM. INSTALL NEW GRAVEL STOP AND DRIP EDGE FLASHING.

- Remove metal air handlers from roof that
are no longer in use.

DESIGN GUIDELINES: Consult the Ellicott City or Lawyers Hill Design Guidelines on the Howard County website at <https://www.howardcountymd.gov/Departments/Planning-and-Zoning/Conservation-and-Preservation/Historic> and provide a brief description of how the proposal meets the recommendations of the Guidelines, including the applicable chapter and section. Please type up on a separate sheet of paper if more space is needed.

Part 2: General Application for Certificate of Approval Checklist

TYPE OF ALTERATION: Please check the appropriate box for the proposed work and fill in required blanks. Specs sheets and photos must be provided or the application may be considered incomplete and rejected for consideration by the Commission.

You may create your own document if it better explains the project, be sure to include details such as materials and colors for all existing/previously existing and proposed features.

DOORS AND STORMS DOORS: Refer to page 35 of the Ellicott City Guidelines and pages 26-29 of the Lawyers Hill Guidelines.

Existing Type: _____

Proposed Type: _____

Existing Color: _____

Proposed Color: _____

Existing Material: _____

Proposed Material: _____

Additional Info Included: Yes No

Specs/Photos Included: Yes No

Is this item being repaired? Yes No

Is this item being replaced? Yes No

I seek tax credit pre-approval for this item.

For any proposed door replacement—the spec sheets must show the actual panel and window arrangement of new doors. Photos of existing doors should indicate the location on the house of any door proposed to be replaced.

WINDOWS: Refer to page 38 of the Ellicott City Guidelines and page 26 of the Lawyers Hill Guidelines.

Existing Material: _____

Proposed Material: _____

Existing Color: _____

Proposed Color: _____

Existing Sash Arrangement: _____

Proposed Sash Arrangement: _____

Additional Info Included: Yes No

Specs/Photos Included: Yes No

Is this item being repaired? Yes No

Is this item being replaced? Yes No

I seek tax credit pre-approval for this item.

For any proposed window replacement—the spec sheets must show the actual sash arrangement of the new windows. Photos of existing windows should indicate the location on the house of any window proposed to be replaced.

WALLS/SIDING: Refer to pages 25-30 of the Ellicott City Guidelines and pages 21-24 of the Lawyers Hill Guidelines.

Existing Material: _____

Proposed Material: _____

Existing Color: _____

Proposed Color: _____

Additional Info Included: Yes No

Specs/Photos Included: Yes No

Is this item being repaired? Yes No

Is this item being replaced? Yes No

I seek tax credit pre-approval for this item.

Part 2: General Application for Certificate of Approval Checklist

TYPE OF ALTERATION: Please check the appropriate box for the proposed work and fill in required blanks. You may create your own document if it better explains the project, be sure to include details such as materials and colors for all existing/previously existing and proposed features.

PAINTING: Refer to page 50 of the Ellicott City Guidelines and page 31 of the Lawyers Hill Guidelines.

Existing Color: _____

Proposed Color: _____

Paint Chip Included: Yes No

Area(s) to be painted: _____

Additional Info Included: Yes No

I seek tax credit pre-approval for this item.

ROOF: Refer to page 31 of the Ellicott City Guidelines and page 26 of the Lawyers Hill Guidelines.

Existing Material: ROOF SHEET

Proposed Material: TPO MEMBRANE

Existing Color: BLACK

Proposed Color: WHITE

Additional Info Included: Yes No

Specs/Photos Included: Yes No

Is this item being repaired? Yes No

Is this item being replaced? Yes No

I seek tax credit pre-approval for this item.

SHUTTERS: Refer to page 42 of the Ellicott City Guidelines and page 28 of the Lawyers Hill Guidelines.

Existing Type: _____

Proposed Type: _____

Existing Color: _____

Proposed Color: _____

Existing Material: _____

Proposed Material: _____

Additional Info Included: Yes No

Specs/Photos Included: Yes No

Is this item being repaired? Yes No

Is this item being replaced? Yes No

I seek tax credit pre-approval for this item.

OTHER (such as lighting, railings, other repairs, tree removal, demolition, etc. Please explain in detail): Refer to applicable Guidelines. For signs please use separate Sign Application. For New Construction use separate New Construction Application. Please attach additional pages as necessary or write up separate document.

Description: _____

Specs/Photos Included: Yes No

Additional Info Included: Yes No

Is this item being repaired? Yes No

Is this item being replaced? Yes No

I seek tax credit pre-approval for this item.

Part 3: Historic Property Tax Credits

Historic Property Tax Credits 20.112 and 20.113 Eligibility Requirements

Please check the appropriate box:

In accordance with Sections 16.606, 20.112 and 20.113 of the Howard County Code, I request the pre-approval of eligible work to qualify for property tax credits for the following preservation and restoration work:

- A structure listed on (or eligible for inclusion in) the Howard County Historic Sites Inventory and is designated by the Commission as historically significant.
- An existing principal structure or historic outbuilding located within a local historic district in Howard County, which is determined by the Commission to be of historic or architectural significance, or to be architecturally compatible with the historic structures in the district .
- A landscape feature located within a local historic district or listed on the Historic Sites Inventory, which is determined by the Commission to be of historic or architectural significance.
- A cemetery, at least 50 years old, not operated as a business, which is listed on the Howard County Cemetery and Gravesites Inventory under Section 16.1303 of the County Code.

Please Note: There is a separate application for final tax credit approval. Copies of cancelled checks, receipts and paid invoices are required for final approval. Invoices should be itemized to separate repairs to the items pre-approved from those that are not eligible for the tax credit.

Part 4: Authorizing Signature to Submit Application:

I hereby certify by the below signatures(s) that the information supplied herewith is correct and complete and authorizes such periodic on-site inspections by the Department of Planning and Zoning and its agents as may be necessary to review this application and any petitions filed in connection herewith and to enforce the Historic District Guidelines and other applicable laws. This right-of-entry shall continue until all administrative appeals pertaining to the property have been exhausted. I have read and understand the above terms regarding the Historic Property Tax Credit Programs.

SIGNATURE(S):

If the Applicant is not the owner of the subject property, the owner's signature authorizing the proposed work is required .



Applicant or Authorized Agent

10/28/2019

Date

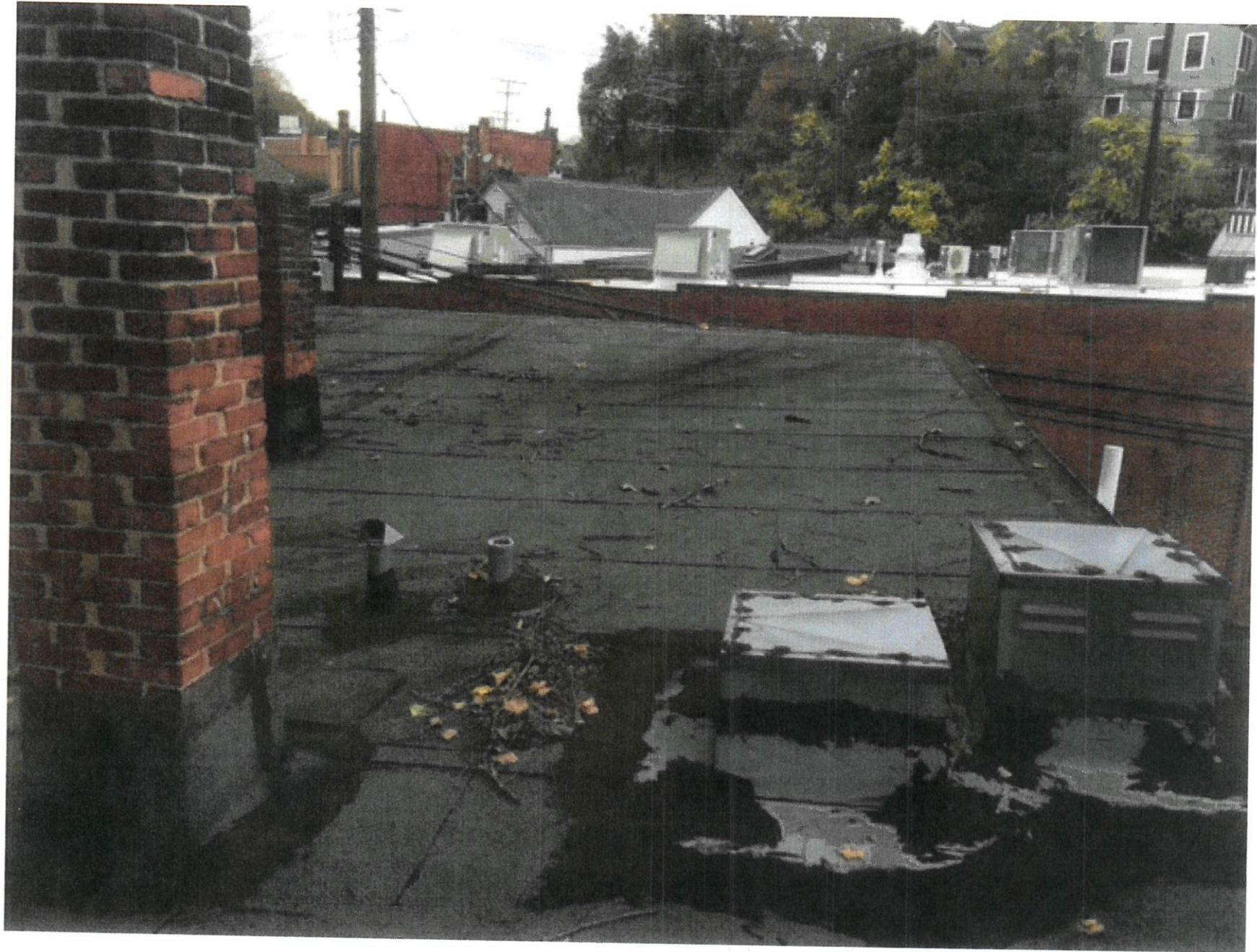
Owner (if different than Applicant)

Date













No: TC - 164551 FR

Roofing for Your Home

Date: October 23, 2019

Respectfully Submitted To:

Work to be Performed At:

Phone No. 410-707-0277

Name: Michael Koplow

Street: 4229 Scarlet Sage Court

3715 Old Columbia Pike

City, State: Ellicott City, MD 21042

Ellicott City, MD 21043

We hereby propose to furnish all materials and perform all the labor necessary for the completion of:

The complete removal of the existing flat roof down to wood decking. Remove any unused penetrations. Mechanically fasten 1" ISO insulation board. The installation of Firestone .060 fully adhered white TPO 20-year roofing system. The installation of new gravel stop and drip edge flashing at all perimeter. All material fastened per manufacturers requirements. Nails are magnetically removed from the ground. The house and shrubs are protected to the best of our ability. Homeowner is responsible to ensure selection of material and colors are in compliance with their Homeowners Association requirements and in accordance with County codes. S&K Roofing, Siding and Windows, Inc. will provide quality workmanship with a 3-year warranty against leaks or defects in workmanship.

Note: TPO roofing material can only be installed in temperatures above 45 degrees.

All material is guaranteed to be as specified and the above work to be performed as stated for the sum of:
FOURTEEN THOUSAND THREE HUNDRED SEVENTY EIGHT DOLLARS
\$14,378.00

The following items are not included in contract price.

The replacement of rotten plywood found will be done at a cost of \$65.00 per sheet.

IMPORTANT NOTES:

- Electrical, telephone, security and air conditioning lines should not be installed directly underneath the roof deck. If you are aware of any such lines, we must be notified immediately. We cannot be responsible for the puncture of improperly installed lines or lines within three inches of the roof deck.
- Protect your belongings in the attic, as sawdust will enter the attic during the process of shingle vent installation.
- We will remove any items attached to the roof (i.e., satellite dishes; basketball nets; antennas) and some will NOT be reinstalled. We will re-install satellite dishes, however, we cannot guarantee reception. If any issues, please contact your cable/satellite provider.
- We will not remove or re-install gutter covers, screens or helmets. Please notify our office if you have a gutter cover system prior to commencement of work.
- We will not be held responsible for existing skylights leaking, replacement is recommended. Interior trim or drywall damage is beyond our control during skylight replacement and there may be additional charges should work be required and would be done at \$72.00 per Man-Hour plus Material. Please note dust, granules and debris may fall into the room during skylight installation/replacement. It is recommended that you remove any items of value or concern and place a tarp of some kind to protect furniture and flooring.
- We will not be held responsible for wicking brick or mortar.
- All metal roofing material will exhibit some oil canning in direct angles of sunlight, copper is especially sensitive to this.

Quotation is valid for 10 days from date of proposal.

Signed Proposal, 1/3 Deposit and Pertinent Color and Option Selections Required for Scheduling
Balance Due Upon Completion

Any alteration or deviation from above specification involving extra costs, will be executed only by written orders, and will become an extra charge over and above the estimate. Customer agrees to pay 1/3 of the balance due in attorney's fees for legal action taken by S&K Roofing, Siding and Windows, Inc. on this contract or all reasonable attorney's fees in a non-collection action. All agreements contingent upon strikes, accidents, weather, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance upon above work. S&K carries Workers Compensation and General Liability Insurance. Request for draw may be required. A 2% finance charge per month on unpaid balance on accounts past 15 days will be charged.

Respectfully submitted by: Tom Ciambuschini, Vice President of Sales *MHIC #76363 / mm*

The prices, specifications, and conditions in the proposal, contract, terms and conditions are satisfactory and are hereby accepted. I have seen and agreed to the terms attached to this contract. You are authorized to do the work as specified.
Please Sign and Return one copy to S&K Roofing, Siding and Windows at 5399 Enterprise Street, Eldersburg, MD 21784 or fax to 443-516-2127

I hereby personally promise and guarantee payment to S&K Roofing, Siding and Windows, Inc. of all present and future balances of account due from this contract. Contract will not be valid unless signed and personally guaranteed by an Authorized Representative.

Accepted by Signature: _____ Printed Name & Date: _____

I am aware that in order to take delivery it will be necessary for the delivery truck to enter the driveway. Extra charges will apply should the delivery truck not be allowed to use the driveway. S&K Roofing, Siding and Windows, Inc. and our suppliers not responsible for damages beyond our control.

TECHNICAL INFORMATION SHEET

BUILDING PRODUCTS

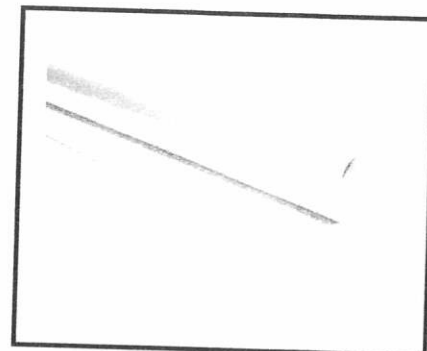
UltraPly™ TPO Membrane

Item Description

1 Roll

Item Number

Various



Meets or exceeds ASTM D 6878.

Description:

Firestone UltraPly TPO is a flexible Thermoplastic Polyolefin roofing membrane that is produced with polyester weft-inserted reinforcement. UltraPly TPO membrane meets or exceeds all requirements for ASTM D 6878 Specification. This heat weldable TPO membrane is available in 45 mil (1.14 mm) and 60 mil (1.52 mm) thicknesses. This reflective membrane is suitable for a variety of low-slope applications.

Method of Application:

1. Substrates must be clean, dry, smooth, and free of sharp edges, fins, loose or foreign materials, oil, grease, and other materials that may damage the membrane.
2. All roughened surfaces that can damage the membrane shall be repaired as specified to offer a smooth substrate.
3. All surface voids greater than ¼" (6.3 mm) wide shall be properly filled with an acceptable fill material.
4. Firestone UltraPly TPO membrane is installed as continuous roofing or waterproofing layer on the roof. Rolls are overlapped (side laps and end laps) prior to the heat welding of the seam areas.
5. Install the UltraPly TPO Roofing System in accordance with current Firestone UltraPly TPO specifications, details and workmanship requirements.

Storage:

- Store away from sources of punctures and physical damage.
- Assure that structural decking will support the loads incurred by material when stored on rooftop. The deck load limitations should be specified by the project designer.
- Store away from ignition sources as membrane will burn when exposed to open flame.

Precautions:

- Refer to Safety Data Sheets (SDS) for safety information.
- Exercise caution when lifting, moving, transporting, storing or handling membrane rolls to avoid sources of punctures and possible physical damage.
- Contact your Building Systems Advisor at 1-800-428-4511 for specific recommendations regarding chemical or waste product compatibility with Firestone UltraPly TPO Membrane.

LEED® Information:

Post Consumer Recycled Content: 0%
Pre Consumer Recycled Content: 15%
Manufacturing Location: Wellford, SC
Tuscumbia, AL

NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



ICC-ES
ESR-2831

CCMC 13348-R

Firestone Building Products Sales: (800) 428-4442 Technical (800) 428-4511 www.firestonebpc.com

TIS # 201

12/8/2015

Page 1 of 3

UltraPly™ TPO Membrane

Property	ASTM Standard	Performance Minimum	Typical Performance 45 mil	Typical Performance 60 mil
Overall Thickness:	D 751	0.039" (1 mm)	0.045" (1.14 mm) ± 10%	0.060" (1.52 mm) ± 10%
Coating over Scrim:	D 7635	0.015" (0.38 mm)	0.017" (0.43 mm)	0.021" (0.53 mm)
Breaking Strength:	D 751, Grab Method	220 lbf (979 N)	340 lbf (1,512 N)	390 lbf (1,735 N)
Elongation of Reinforcement Break:	D 751, Grab Method	15%	25%	25%
Tearing Strength:	D 751	55 lbf (245 N)	120 lbf (534 N)	120 lbf (534 N)
Brittleness Point:	D 2137	-40 °F (-40 °C)	Pass	Pass
Ozone Resistance, No Cracks:	D 1149	Pass (No Cracks)	Pass	Pass
Properties After Heat Aging (Retained Values) (ASTM D 573 670 h at 240 °F (116 °C)):				
Breaking Strength:	D 751, Grab Method	90% Minimum	> 90%	> 90%
Elongation at Break:	D 751, Grab Method	90% Minimum	> 90%	> 90%
Tearing Strength:	D 751	60% Minimum	> 60%	> 60%
Weight of Change:		± 1% Maximum	< 1%	< 1%
Linear Dimension Change:	D 1204, 6 h at 158 °F (70 °C)	± 1% Maximum	< 1%	< 1%
Water Absorption:	D 471	± 3% Maximum	< 3%	< 3%
Weather Resistance, 80 °C Black Panel, no cracking, crazing when wrapped around a 3" mandrel and inspected at 7X magnification:	G 155	10,800 kJ/m ² Minimum	> 20,160 kJ/m ²	> 20,160 kJ/m ²
Puncture Resistance:	FTM 101C, Method 2031	---	265 (1,180)	300 (1,300)
Dynamic Puncture Resistance MD:	D 5635	---	Pass (20 J)	Pass (40 J)
Dynamic Puncture Resistance CD:	D 5635	---	Pass (35 J)	Pass (50 J)
Static Puncture Resistance:	D 5602	---	Pass (25 kg)	Pass (25 kg)
Air Permeance (Material)	E 2178*	ft ³ /ft ² (L/(s·m ²))	<0.004 (0.02)	Pass

*The ASTM 2178 values listed are for the air permeance of the EZ Peel & Stick TPO SA (HW) component only. For use of the product as a component in an air barrier assembly, please consult your Firestone Building Systems Advisor (BSA), Code Agency or Authority having Jurisdiction (AHJ) for the acceptable air barrier assembly details.

TECHNICAL INFORMATION SHEET

BUILDING PRODUCTS

UltraPly™ TPO Membrane

Membrane Thickness: 0.045" (1.14 mm) Membrane Weight: 0.23 lb/ft ² (1.1 kg/m ²)			Membrane Thickness: 0.060" (1.52 mm) Membrane Weight: 0.31 lb/ft ² (1.5 kg/m ²)		
<u>Available Sizes</u>		<u>Available Colors</u>	<u>Available Sizes</u>		<u>Available Colors</u>
5' x 100'	(1.5 x 30.5 m)	White, Tan, Gray	5' x 100'	(1.5 x 30.5 m)	White, Tan, Gray
5' x 200'	(1.5 x 61 m)	White	5' x 200'	(1.5 x 61 m)	White
6' 2" x 100'	(1.9 x 30.5 m)	White, Tan, Gray	6' 2" x 100'	(1.9 x 30.5 m)	White, Tan, Gray
8' x 100'	(2.4 x 30.5 m)	White, Tan, Gray	8' x 100'	(2.4 x 30.5 m)	White, Tan, Gray
8' x 200'	(2.4 x 61 m)	White	8' x 200'	(2.4 x 61 m)	White
10' x 100'	(3.0 x 30.5 m)	White, Tan, Gray	10' x 100'	(3.0 x 30.5 m)	White, Tan, Gray
10' x 200'	(3.0 x 61 m)	White	10' x 200'	(3.0 x 61 m)	White
12' 4" x 100'	(3.8 x 30.5 m)	White, Tan, Gray	12' 4" x 100'	(3.8 x 30.5 m)	White, Tan, Gray
12' 4" x 200'	(3.8 x 61 m)	White	12' 4" x 200'	(3.8 x 61 m)	White

Cool Roof Rating Council (CRRC): Initial / 3 yr	White	Tan	Gray
Solar Reflectance	0.79 / 0.68	0.61 / 0.55	0.34 / 0.34
Thermal Emittance	0.85 / 0.83	0.81 / 0.84	0.89 / 0.88
Solar Reflectance Index (SRI)	98 / 81	71 / 63	37 / 36
Rated Product ID	0008	---	---
Licensed Manufacturer ID	0608	---	---
Classification	Production Line	---	---
ENERGY STAR®: Initial / 3 yr	White	Tan	
Solar Reflectance	0.79 / 0.78*	0.60 / 0.54	---
Thermal Emittance	0.85	0.81	---
* White membrane sample cleaned prior to age test.			
LEED®	White	Tan	Gray
Solar Reflectance – ASTM E 903	0.81	0.63	0.37
Thermal Emittance – ASTM E 408	0.95	0.95	0.95
Solar Reflectance Index (SRI) – ASTM E 1980	102	77	43



CHARTER MEMBER

ENERGY STAR is only valid in the United States



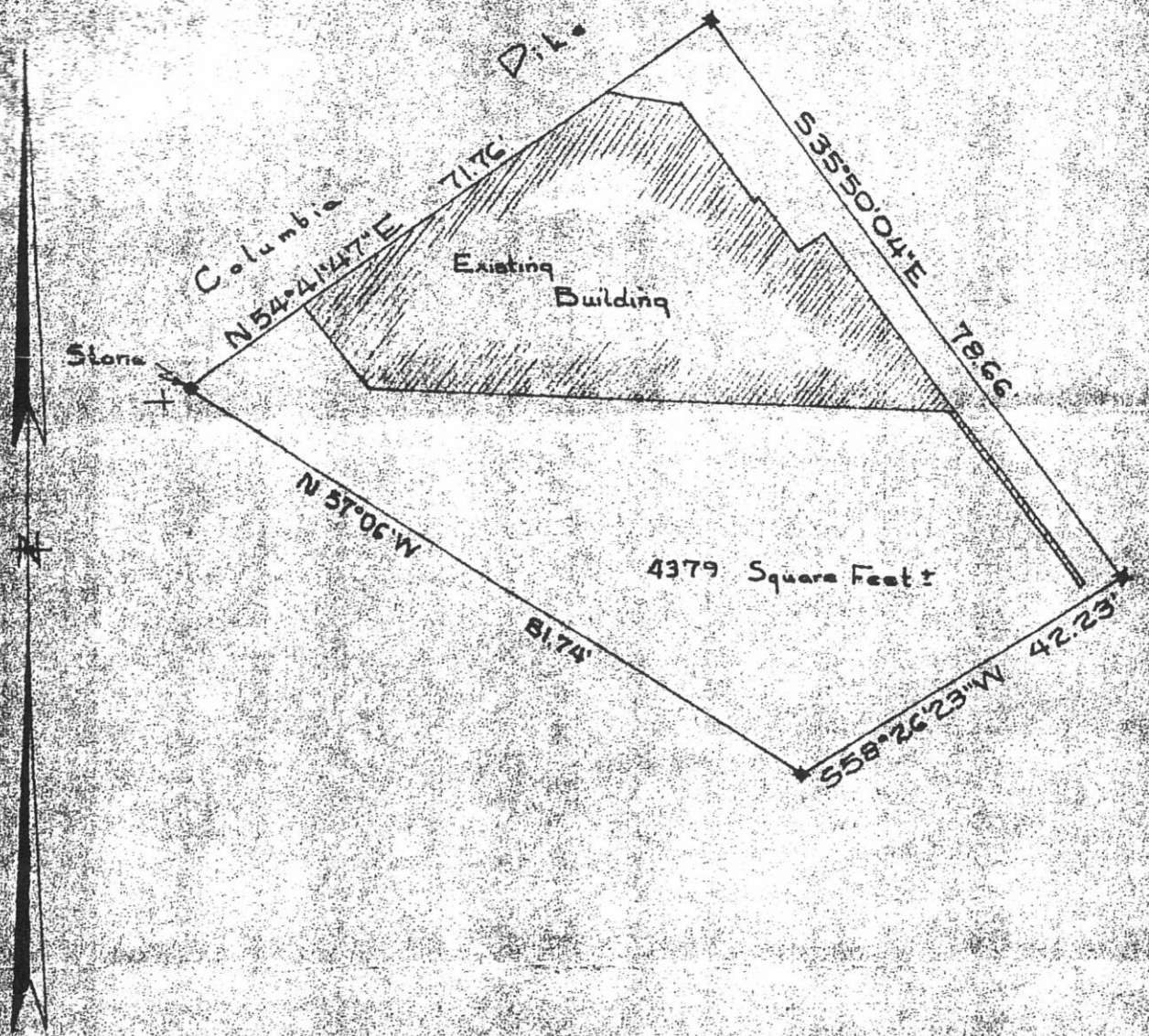
Please contact Quality Building Services Technical Department at 1-800-428-4511 for further information.

This sheet is meant to highlight Firestone products and specifications and is subject to change without notice. Firestone takes responsibility for furnishing quality materials which meet published Firestone product specifications. Neither Firestone nor its representatives practice architecture. Firestone offers no opinion on and expressly disclaims any responsibility for the soundness of any structure. Firestone accepts no liability for structural failure or resultant damages. Consult a competent structural engineer prior to installation if the structural soundness or structural ability to properly support a planned installation is in question. No Firestone representative is authorized to vary this disclaimer.

Firestone Building Products Sales: (800) 428-4442 Technical (800) 428-4511 www.firestonebpco.com

TIS # 201

12/8/2015



PLAT OF SURVEY for PARLETT MOTOR COMPANY

SECOND ELECTION DISTRICT OF HOWARD COUNTY
ELLICOTT CITY, MARYLAND

SCALE 1"=20'

SEPT. 8, 1939

